

**Historic Preservation Commission
Council Chambers
Hall of Waters Building
201 East Broadway
Excelsior Springs, MO**



Meeting Notice

October 9, 2024 at 5:00 PM

Council Chambers

Google: Zoom.US
Meeting ID: 827 8896 7125
Passcode: 301032

Agenda

1. Call to Order
2. Roll Call
3. Election of Chairman
4. Approval of Meeting Summary: from September 11, 2024
 - a. September 11, 2024
5. Comments from Public
6. Administratively approved COAs:
Administratively approved COAs
7. COA: HPC-24-042 - an application by Shannon Bass for a Certificate of Appropriateness to replace a wood window with a smaller vinyl window located at 426 Benton Avenue.
COA: HPC- 24-042
8. COA: HPC - 24-043 - an application by Marcella Johnson for a Certificate of Appropriateness to place a metal 2-car garage behind 411 Benton Avenue.
COA: HPC-24-043
9. COA: HPC-24-045 - an application by Bethany Harvey for a Certificate of Appropriateness for installing a sign at the business located at 463 S Thompson Avenue.
COA: HPC-24-045
10. Staff Comments
11. Comments of Commissioners
12. Adjourn

Copies of this notice are available by contacting the Community Development Department at 201 E. Broadway, Excelsior Springs, MO 64024. 816-630-0756

Date and time posted: October 7, 2024 at 1:10 pm



**Community Development
Historic Preservation Commission Meeting - 10/9/2024**

To: Commission Members
From:
Date
RE: September 11, 2024

ATTACHMENTS:

Description	Type	Upload Date
September 11, 2024	Cover Memo	10/8/2024

HISTORIC PRESERVATION COMMISSION Meeting Summary

September 11, 2024

Item 1. Call to Order

Chairman Bissell called the meeting to order at 5:00 p.m.

Item 2. Roll Call

PRESENT: Betty Bissell, Susan Blaser, Darryl Coutts, Rick deFlon, Anna Sue Spohn and Jason Van Till.

ABSENT: Dennis Hartman

PUBLIC PRESENT: Linda Davis, George Moon, Peter Meeks, Veronica Meeks (via Zoom), Jack Taylor, Clifford Mehrer, Kara Harrington (via Zoom).

STAFF PRESENT: Melinda Mehaffy, Economic Development Director, Mayor Mark Spohn, City Council Liaison, Laura Mize, Neighborhood Specialist.

Item 3. Approval of meeting Summary from August 14, 2024.

Commissioner Spohn made a motion to approve the meeting summary for the August 14, 2024 meeting. Commissioner deFlon seconded the motion. Motion Carried.

Vote: Motion Approved 6-0-0

Yes: Commissioners: Blaser, Bissel, Coutts, deFlon, Spohn and Van Till.

No: None

Abstain: None

Item 3 a. At this point, Chairman Bissell asked if there were any visitors who would like to speak. There were none.

Item 4. Administratively approved COAs since last meeting: Ms. Mehaffy presented the administratively approved COAs since last meeting.

Item 5. COA: HPC-24-035 - an application by The Elms Resort and Spa for a Certificate of Appropriateness for a signage/banner within the Elms District.

Chairman Bissell asked for the staff report.

Ms. Mehaffy presented the information as listed in the staff report.

Chairman Bissell stated that she did not think the commission should be considering approval for something for which there are no standards or criteria in the Design Guidelines. Ms. Mehaffy stated that this was brought forward because it was a type of sign. She said that the chairman was correct, there were no guidelines regarding banners.

Ms. Mehaffy stated that these were a type of advertisement. Commissioner Coutts noted that The Elms is doing major repairs currently. Ms. Mehaffy explained to Ms. Harrington that the COA is not being rejected, it was just determined by the commission that a COA is not required for these banners. A vote was not taken on this agenda item.

Vote: Not taken.

Item 6. COA: HPC-24-036 - an application by Pete and Veronica Meeks for a Certificate of Appropriateness for multiple items at 205 S Kansas City Ave.

Chairman Bissell asked for the staff report.

Ms. Mehaffy presented the information as listed in the staff report. She introduced Mr. Meeks, who offered to answer any questions. Chairman Bissell read each request individually for discussion.

1. The roof was approved administratively.
2. Architectural features: Chairman Bissell presented a photo of a house on Benton that had a similar look in the front. Mr. Meeks said they would like to do fish scales and a gable or something decorative over the top of the fish scales. Ms. Mehaffy asked if they would do something similar on the dormers and Ms. Meeks said they would like to do that. Mr. Taylor, their contractor, said they could bring back details about further architectural features.
3. Gutters: The commission had no problem with approving the gutters.
4. Rear deck: The applicant has decided not to go with horizontal spindles, they will use vertical spindles. Mr. Taylor showed the council a photo of what the deck would look like. He built the deck for the Broadway Bar and Grill. Mr. Meeks said the color of the deck will be Shadow Mountain.
5. Sidewalk: The applicant has decided to make the sidewalk straight and wider than 3 feet. Mr. de Flon asked about making it ADA accessible. The applicant is planning to do that.
6. Porch repair: The porch is wood. They are replacing the ceiling with bead board. The columns will be improved to be 9x9". They will be white. The applicants may add stone in the future. The porch will be painted the same color as the deck. Ms. Mehaffy stated there is another house on the block that has the brick on the bottom of the columns. Commissioner deFlon stated that a railing may be required on one side of the porch where there is a drop from the edge of the porch down to the ground. Ms. Mehaffy explained that building codes supersede HPC decisions. Ms. Meeks stated they may do the same railing that will be on the back deck.
7. Front door: The original one has been gone for a long time. The new one has a center oval of glass.
8. Cement walls: The commission stated these can be removed.
9. Windows: Currently the home has vinyl replacement windows, also some currently have plexiglass. The applicant will be adding framing to the windows above porch roof.

Ms. Mehaffy summarized what the applicant is asking for approval for:

1. Architectural feature of fish scales on the front façade and potentially on the dormers on the north and south side.
2. A 10x12' deck on the back of the property that will not extend out from the side of the property.
3. An enlarged sidewalk between the two internal posts.
4. To place beadboard on the roof of the porch and new posts on the porch that are larger in nature and more architecturally suitable. They will paint the front porch the same color that they are painting the back deck.
5. Front door, which is already installed.
6. Replacing the vinyl windows on the front.
7. Remove the cement walls in the yard and in front of the sidewalk.
8. Eyebrow covers on upper-level windows on the front.
9. Gutters.

Commissioner VanTill made a motion to approve this application as recommended by staff after discussion. Commissioner Coutts seconded the motion. The motion carried.

Vote: Motion to Approve 6-0-0

Yes: Commissioners: Blaser, Bissell, Coutts, deFlon, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Extra Items: Ms. Mehaffy explained that there were two items that needed to be presented to the commission that were not on the agenda.

Item 6 a. HPC 24-039 This is a request by the police department to place a retaining wall on their property that mimics the retaining walls that are along Farris St. It looks like limestone. It is a pre-engineered block. It is 20 feet long and tapers down from about 5 feet to about 2 feet. It is within the enclosed gated area of the PD property. It is not something that would be seen unless you are pulling into their parking lot. This would give them the ability to place a sidewalk down to get to their vehicles. They are asking to not place a handrail at this time, but will come back with the style if they need to.

Commissioner VanTill made a motion to approve this request.

Commissioner deFlon seconded. The motion carried.

Vote: Motion to Approve 6-0-0

Yes: Commissioners: Blaser, Bissell, Coutts, deFlon, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Item 6 b. HPC 24-040 City staff have already administratively approved a roof and sidewalk at 218 W Excelsior St. This property owner is getting assistance from Northland Neighborhoods, Inc. They are requesting to replace windows. The home currently has wood windows. They are requesting to place vinyl windows due to cost since this homeowner is receiving assistance for this project. Clifford Mehrer of NNI stated that wood windows that would match are about \$1250 before installation and painting. The vinyl window would look just like these with mutton bars above, and would be 3 over 1 just like the existing windows. They are guaranteed 20 years. He said that if they can't do vinyl, they won't be able to replace the windows. Mr. Mehrer also said that they need to get heat to this home and they are trying to determine if the electricity going to the home is sufficient to support mini-splits.

Commissioner Spohn asked how far back the house is from the street. Mr. Mehrer states it is 30-40 feet back.

Ms. Mehaffy reminded the commission what the guidelines state about replacing windows. She asked Mr. Mehrer about door replacements. He said that they would like to replace doors with like and kind.

The request is just for approval of replacement windows.

Commissioner VanTill made a motion to approve.

Commissioner Spohn seconded the motion. The motion carried.

Vote: Motion to Approve 6-0-0

Yes: Commissioners: Blaser, Bissell, Coutts, deFlon, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Mr. Mehrer asked if he needed to come back to HPC with the mini splits. Ms. Mehaffy stated that we would get back to him on that.

Item 7. Discussion Item: Matrix

Ms. Mehaffy stated that at the last meeting the commission was given a copy of the matrix and asked to review it. City staff is requesting that a correction be made to the fourth page to change “time” to “trim” under New Materials and Design.

Staff is also requesting to be able to approve signage that is scaled for pedestrians and consistent with projecting signage off of buildings. Signs with electronics and flush-mount signage would still be brought before the commission for approval so the commission could see how those would be mounted to buildings. On the third page, signs, plaques and murals would be approved by HPC. Projecting signs would be administratively approved. Murals would be stricken on the fourth page.

Chairman Bissell asked if they commission would still consider murals that are mounted to buildings such as the one at Baxter pocket park. They agreed that they should.

Ms. Mehaffy stated that there are new options for murals that are approved for over brick that are coming out. The owner of 115 W Excelsior and also Other Trails are both interested in doing murals.

Chairman Bissell asked if there were any questions, hearing none she asked for a motion.

Commissioner Coutts made a motion to approve the recommended changes to the Matrix. Commissioner Blaser seconded the motion. The motion carried.

Vote: Motion to Approve 6-0-0

Yes: Commissioners: Blaser, Bissell, Coutts, deFlon, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Mayor Spohn invited the commission to view 436 E Broadway now that the project is finished.

Item 8. Comments from Staff: Ms. Mehaffy thanked Commissioner Blaser for spending her birthday with us.

Item 9. Commission comments. None

Item 10. Adjourn. The meeting was adjourned at 6:03 p.m.

The next meeting of the Commission is October 9, 2024 at 5:00 p.m.

Meeting Summary prepared by Laura Mize, Neighborhood Specialist.



**Community Development
Historic Preservation Commission Meeting - 10/9/2024**

To: Commission Members

From:

Date

RE: Administratively approved COAs

- a. COA: HPC-24-041 - an application by John and Jill Clark for a Certificate of Appropriateness for a change to remove concrete sidewalk due to being unsafe from house up to city sidewalk and replace concrete with brick at 519 S Kansas City Avenue.
- b. COA: HPC-24-044 – an application by Mark Green for a Certificate of Appropriateness for replacement of a TPO roof and paint at 115 W Excelsior.
- c. COA: HPC-24-046 – an application by Chief Greg Dull for a Certificate of Appropriateness for painting of the trim around the building at 301 S Main Street.
- d. COA: HPC-24-047 – an application by Ryan Carlson for a Certificate of Appropriateness for paint at 217 W Broadway.



Community Development
Historic Preservation Commission Meeting - 10/9/2024

To: Commission Members
From:
Date
RE: COA: HPC- 24-042

ATTACHMENTS:

Description	Type	Upload Date
HPC-24-042	Cover Memo	10/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



October 7, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-042 – An application by Shannon Bass for a Certificate of Appropriateness to replace a wood window with a smaller vinyl window located at 426 Benton Avenue.

Historic District: Hall of Waters District

Background: This one-story Queen Anne house has a stone foundation, asbestos siding and an asphalt shingle truncated hip roof. A gabled wing projects from the south elevation. The house was built in circa 1899 on land platted in 1887. According to the Sanborn Fire Insurance Maps, this home has not had any additions since 1909. This home is a contributing home in the Boarding House District.

Staff Review: The applicant is requesting to modify a window on the back of the home to allow for a better kitchen layout. The window will sit above the kitchen sink and would have kitchen cabinets around it. The applicant would like to change the opening of the window from a 24" X 48" window to a 24" X 36" window. He has source like and kind siding to be used to fill in the gaps created by making the window smaller. He is requesting a vinyl window at this opening. All other windows are wood windows and he is anticipating keeping those and refurbishing them. Staff is working with the applicant to provide window repair contacts.

Staff Recommendation/Action Requested: City staff finds the application is not consistent with the Excelsior Springs Historic Preservation Guidelines. The guidelines state that original windows should be maintained and preserved and should be preserved whenever possible. New windows are supposed to maintain the size, shape, placement and configuration of the original windows.

Staff would like to open a discussion of the COA application.

Respectfully Submitted,

Melinda Mehaffy
City of Excelsior Springs

Attachments: Exhibit A- COA Application
Exhibit B – Excelsior Springs Historic Survey
Exhibit C- Historic Preservation Design Guideline for windows



COMMUNITY DEVELOPMENT
 PLANNING & ZONING
 201 East Broadway
 Excelsior Springs, MO 64024
 Phone: (816) 630-0756

FOR OFFICE USE ONLY
 Fee: \$25.00
 Date Received: 9-9-2023

Accounting Code (PP)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-042
 Administrative HPC
 (for office use only)

Date: 9/9/24 Property Address: 426 Benton Ave
 Applicant: Shannon Bass Telephone No.: 816 799-7507
 Applicant's Mailing Address:
 Email: Shannon Bass 961@yahoo.com
 Owner (if different from Applicant):

Historic District: Hall of Waters Elms Boarding House Local Landmark
 • Are Federal or State permits, licensing or monies included in the project Yes No
 • If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:
 Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)
 EXTERIOR ALTERATION NEW CONSTRUCTION
 SIGNAGE DEMOLITION
 BUILDING RELOCATION REGRADING/FILL

Shannon Bass
 Applicant Signature

 Reviewed, Planning & Zoning

 Approved, HPC Chairman

 Disapproved, HPC Chairman

 Approved Building Official

 Disapproved Building Official



Survey number: CL-AS-015-010		2. SURVEY NAME: Boardinghouse Historic Resource Inventory	
3. COUNTY: CLAY		4. ADDRESS (STREET NO. 426	STREET (NAME) Benton Avenue
5. CITY: Excelsior Springs	Vicinity <input type="checkbox"/>	6. UTM <input type="checkbox"/>	OR LAT: 39.341416 LONG: -94.218432
8. HISTORIC NAME (IF KNOWN):		7. TOWNSHIP/RANGE/SECTION T: 52 R: 30 S: 1	
10. OWNERSHIP <input checked="" type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A HISTORIC USE (IF KNOWN): Single Dwelling	
		11B CURRENT USE: Single Dwelling	

HISTORICAL INFORMATION

12. CONSTRUCTION DATE: c. 1899	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input checked="" type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 2)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 2)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE? <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input checked="" type="checkbox"/> DISTRICT POTENTIAL <input checked="" type="checkbox"/> C <input type="checkbox"/> NC <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input checked="" type="checkbox"/>		22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input checked="" type="checkbox"/>

ARCHITECTURAL INFORMATION

23. CATEGORY OF PROPERTY: <input checked="" type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL: Asphalt	37. WINDOWS: <input checked="" type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT: 1/1
24. VERNACULAR OR PROPERTY TYPE:	31. CHIMNEY PLACEMENT: N/A	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input checked="" type="checkbox"/>
25. STYLE: Queen Anne	32. STRUCTURAL SYSTEM: Frame	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input type="checkbox"/> ALTERED DATE(S): <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S): ENDANGERED BY:
26. PLAN SHAPE: Irregular	33. EXTERIOR WALL CLADDING: Asbestos Siding	
27. NO. OF STORIES: 1	34. FOUNDATION MATERIAL: Stone	
28. NO. OF BAYS (1ST STORY): 3	35. BASEMENT TYPE: Full	
29. ROOF TYPE: Truncated Hip	36. FRONT PORCH TYPE/PLACEMENT: Side-Wrap, Veranda	40. NO OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
		41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION <input checked="" type="checkbox"/>

OTHER

42. CURRENT OWNER/ADDRESS: PINGEL, JOAN A TRUST 14921 SALEM RD EXCELSIOR SPRINGS MO 64024	43. FORM PREPARED BY (NAME AND ORG.): Rosin Preservation, LLC Lauren Rieke 215 W. 18th Street #150 Kansas City, MO 64108 816-472-4950 Lauren@rosinpreservation.com	44. SURVEY DATE: 8/21/2014
		45. DATE OF REVISIONS:

FOR SHPO USE

DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input checked="" type="checkbox"/> RECONNAISSANC <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input checked="" type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		OTHER:

PHOTOGRAPHS

PHOTOGRAPHER Brad Finch, F-Stop Photography

DATE 8/21/2014

DESCRIPTION: South elevation, view north.

**ADDITIONAL INFORMATION**

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The one-story Queen Anne house has a stone foundation, asbestos siding and an asphalt shingle truncated hip roof. A gabled wing projects from the south elevation. A hip wing projects from the west elevation. A brick chimney rises from the center of the roof. A side-wrap porch with limestone piers and square wood columns spans the primary (south) and east elevations. This elevation has three bays. Single doors fill Bays 1 and 3; a single window fills Bay 2. Historic one-over-one wood windows pierce each elevation.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house is set back from the street at the center of the lot. A wood fence encloses the rear portion of the property. A concrete sidewalk and stairs access the porch.

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house was built c.1899 on land platted in 1887. The date of 1899 is an estimation based partly on the style of the home, as records are scarce and Sanborn Fire Insurance Maps do not cover this area until 1909. According to the Sanborn Fire Insurance Maps, this home has not had any additions since 1909. The City Directories show Dr. Ernest Lowrey at the address in 1917 and J.W. Stockwell as owner/occupant in 1922., [Boardinghouse Historic District Survey, 1994]

ELIGIBILITY STATEMENT:

The historic house retains sufficient historic character to communicate association with potential areas of significance and would be contributing to a potential historic district.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

PREVIOUS SURVEY NAME: Boardinghouse Historic District Survey, 1994; CL-AS-007-009
Sanborn Fire Insurance Maps, 1894-1940--Kansas City, MO Public Library, Missouri Valley Special Collections; Excelsior Springs city directories and Phone books--Excelsior Springs Museum; Plats and Additions files--City Planning Department, City of Excelsior Springs, MO; Miscellaneous files and reference materials--Excelsior springs Museum.

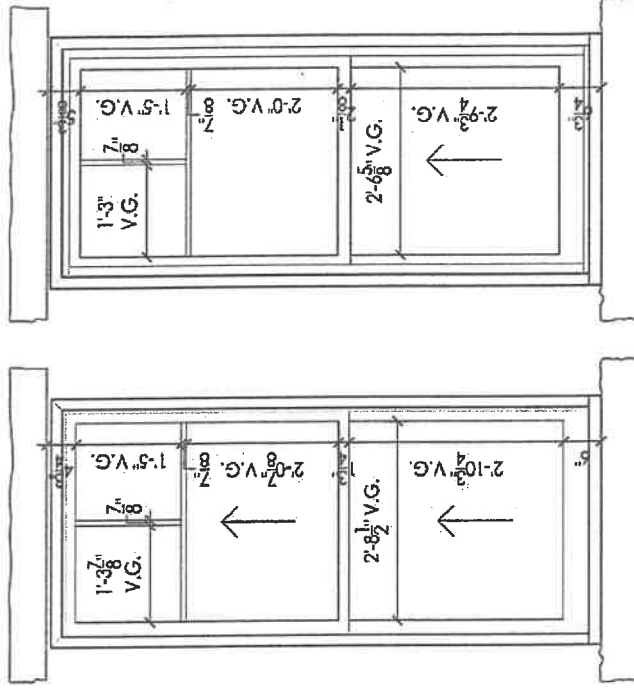
LOCAL REGISTER DISTRICT NAME: Boardinghouse Historic District

LOCAL REGISTER DESIGNATION DATE: 2010

LOCAL REGISTER DISTRICT C OR NC:

Windows

- 7.49 Original windows should be maintained and preserved.
- 7.50 Whenever possible, repair a historic window rather than replace it.
- 7.51 Do not replace an original window unless it is deteriorated beyond repair. Replacement to increase energy efficiency should be avoided.
- 7.52 Altering window openings is not recommended.
- 7.53 New windows should maintain the size, shape, placement, and configuration of the original windows. New windows should match the original glass life and muntin configuration and visible glass size. For example, do not replace a multi-lite six-over-six double-hung window with a new single-lite casement window. The width of the muntins and tall bottom sash are also important characteristics of the historic windows.

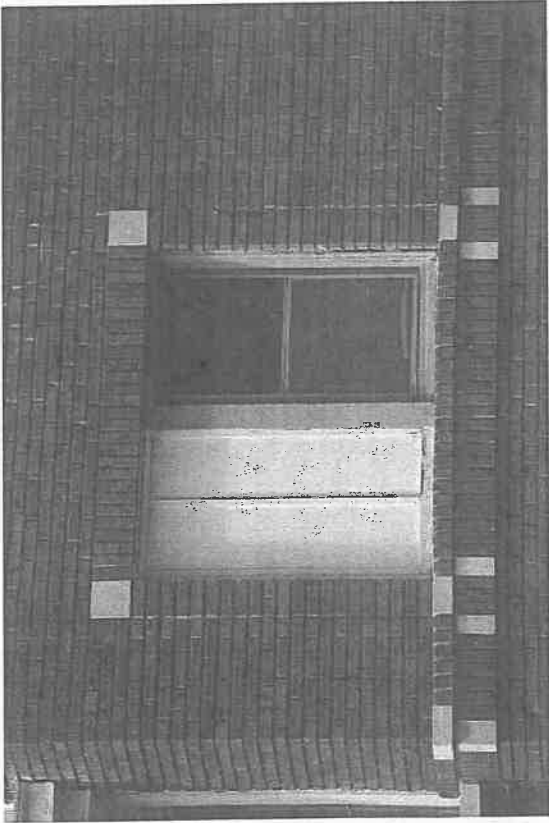


Historic Window
Diagram of an appropriate replacement window. The replacement window matches the original window configuration and matches dimensions of the historic window and visible glass (v.g.) to the greatest extent possible. (STRATA)

Replacement Window

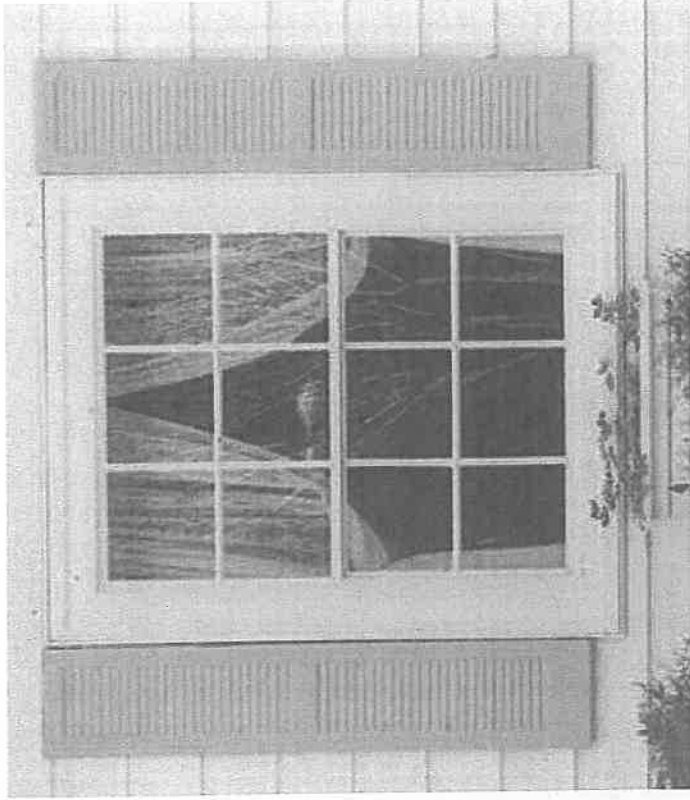
Shutters

- 7.56 Shutters are not appropriate unless there is evidence that they previously existed.
- 7.57 Shutters should not be installed to give a historic building a "historic" look.
- 7.58 New shutters should match the size of the window opening and look like they function, even if they do not.



Example of an inappropriate window replacement. It is not permitted to infill an original window opening. (STRATA)

- 7.54 New wood, aluminum-clad wood, fiberglass, fiberglass-clad wood, and some vinyl windows that replicate the original windows and are compatible with the architectural style of the building may be permitted on a case-by-case basis.
- 7.55 Exterior storm windows are encouraged to protect historic wood and decorative glass windows. Storm windows should match the overall size and design/configuration of the historic windows and may be constructed with wood frames or pre-finished aluminum frames. Storm windows should not cover any significant historic trim. Highly reflective contemporary storm windows are not permitted.



Example of inappropriate shutter installation. The shutters do not match the size of the window opening, nor do they appear as if they can function. (The Craftsman Blog)



**Community Development
Historic Preservation Commission Meeting - 10/9/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-043

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-043	Cover Memo	10/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



October 7, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-043 – An application by Marcella Johnson for a Certificate of Appropriateness to place a metal 2-car garage behind 411 Benton Avenue.

Historic District: Hall of Waters District

Background: This one-and-one-half story Folk Victorian house has a stone foundation, asbestos siding and an asphalt shingle cross gable roof. The house is setback from the street in the center of the lot. This home is a contributing building in the Boarding House District. When this home was renovated around 2017, the home maintained the multiple doors which was common in the Boarding House District though one of the doors is a façade only. This house is similar in form to the home at 407 Benton Avenue. This house sits on a 40' X 120' lot.

Staff Review: The applicant is requesting to build a metal, 2-car garage at the back of the property along the alley. The Design Guidelines are clear that metal buildings are not appropriate nor are they allowed in the historic districts. New garages and outbuildings should be designed in a similar color and material as the primary building.

Staff Recommendation/Action Requested: City staff finds the application is not consistent with the Excelsior Springs Historic Preservation Guidelines. The guidelines are clear about what types of outbuildings are allowed within historic districts.

Staff would not recommend approval of this COA application.

Respectfully Submitted,

Melinda Mehaffy
City of Excelsior Springs

Attachments: Exhibit A- COA Application
Exhibit B- Building Specs.
Exhibit C- Excelsior Springs Historic Survey
Exhibit D- Historic Preservation Design Guideline for Outbuildings



COMMUNITY DEVELOPMENT
 PLANNING & ZONING
 201 East Broadway
 Excelsior Springs, MO 64024
 Phone: (816) 630-0756

FOR OFFICE USE ONLY
 Fee: \$25.00 _____
 Date Received: 9-16-24

Accounting Code (PP)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-043
 Administrative HPC
 (for office use only)

Date: 8/23/24 Property Address: 411 Benton Ave
 Applicant: Marcella Johnson (land) Telephone No.: 816-615-1541
 Applicant's Mailing Address: 411 Benton Ave., Excelsior Springs, MO 64024
 Email: mtlace747@gmail.com
 Owner (if different from Applicant): _____

Historic District: Hall of Waters Elms Boarding House Local Landmark
 • Are Federal or State permits, licensing or monies included in the project Yes No
 • If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

_____ EXTERIOR ALTERATION X NEW CONSTRUCTION
 _____ SIGNAGE _____ DEMOLITION
 _____ BUILDING RELOCATION _____ REGRADING/FILL

Marcella Johnson
 Applicant Signature

 Reviewed, Planning & Zoning

 Approved, HPC Chairman

 Disapproved, HPC Chairman

 Approved Building Official

 Disapproved Building Official

AFFIX PROJECT RELATED
PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

metal 2-car garage - 24' x 24' x 10'
in backyard behind the house. - DETACHED
WHITE with Blue TRIM 12" OVERHANG
CONCRETE Floor - 4" 4000psi with STEEL REBAR and GRAVEL

NA

BENTON AVE

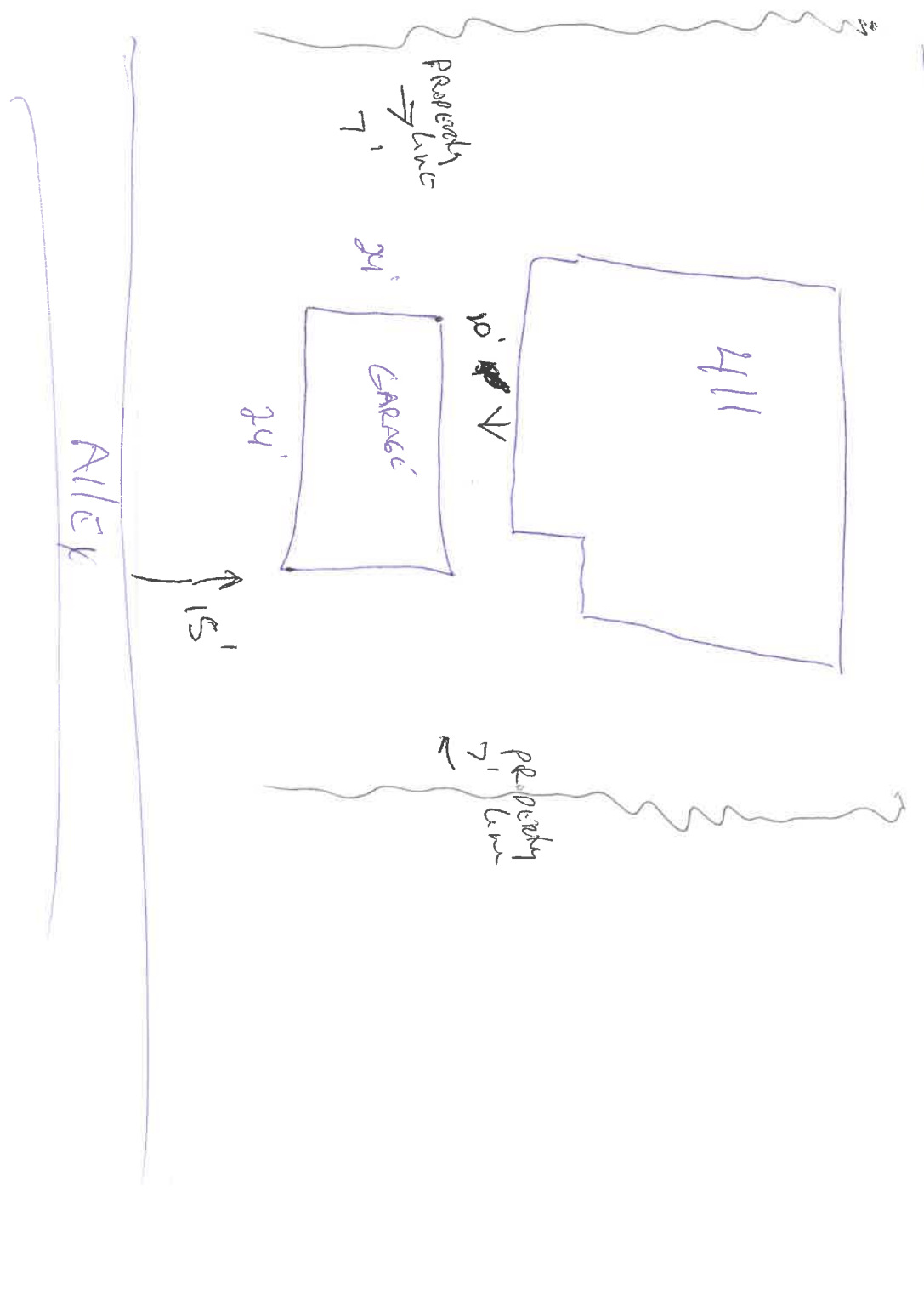


Figure #1 Post frame construction / footer

- Post set 3' deep
- 18" diameter post hole

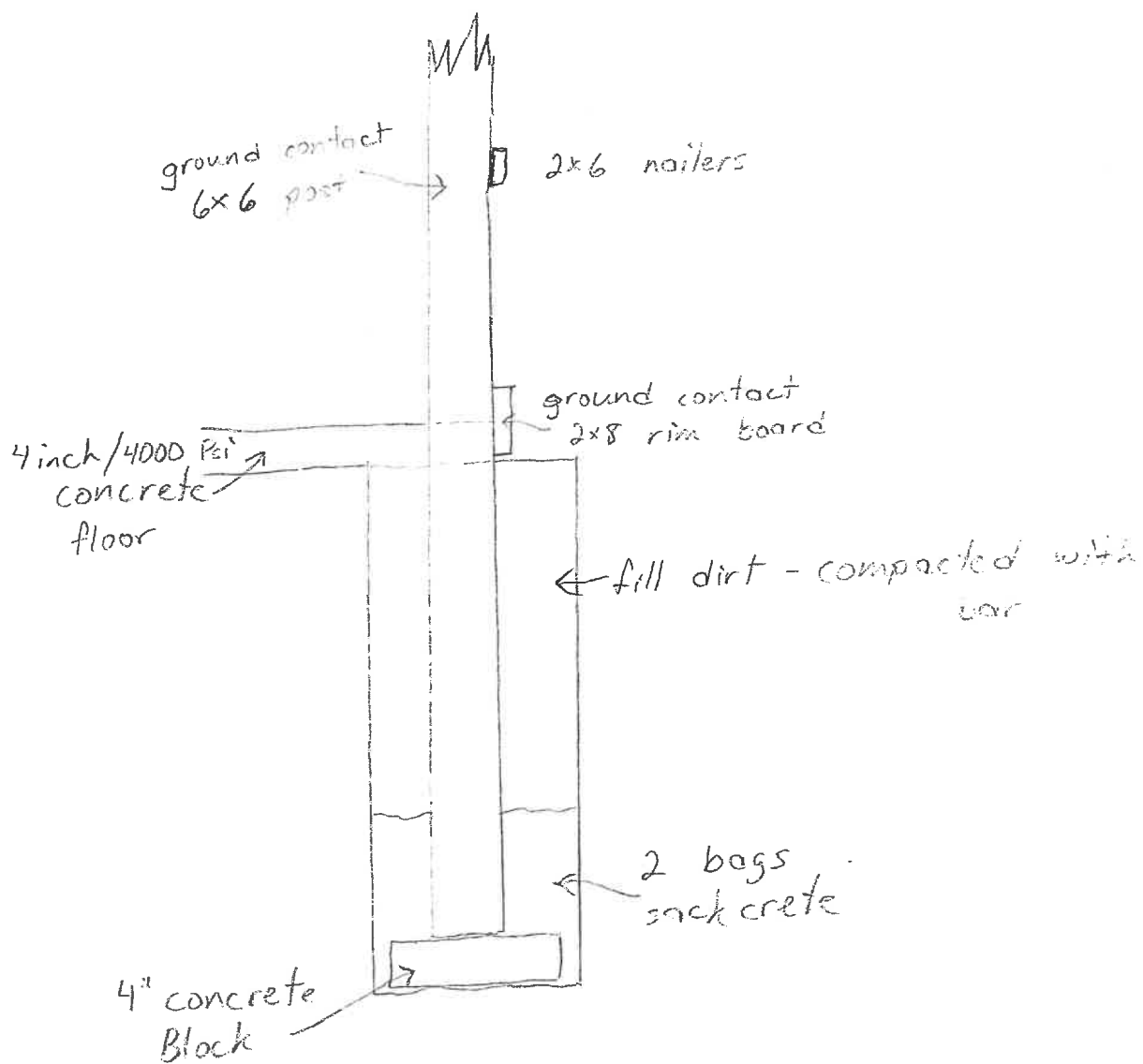


Figure #2 Header detail

- Double 2x8 header attached using 4 inch construction nails
- Roof purlins at 24" spacing o/c - We will use 40 yr. 29 gauge metal for roof + sides.
- Engineered Trusses spaced 4' o/c

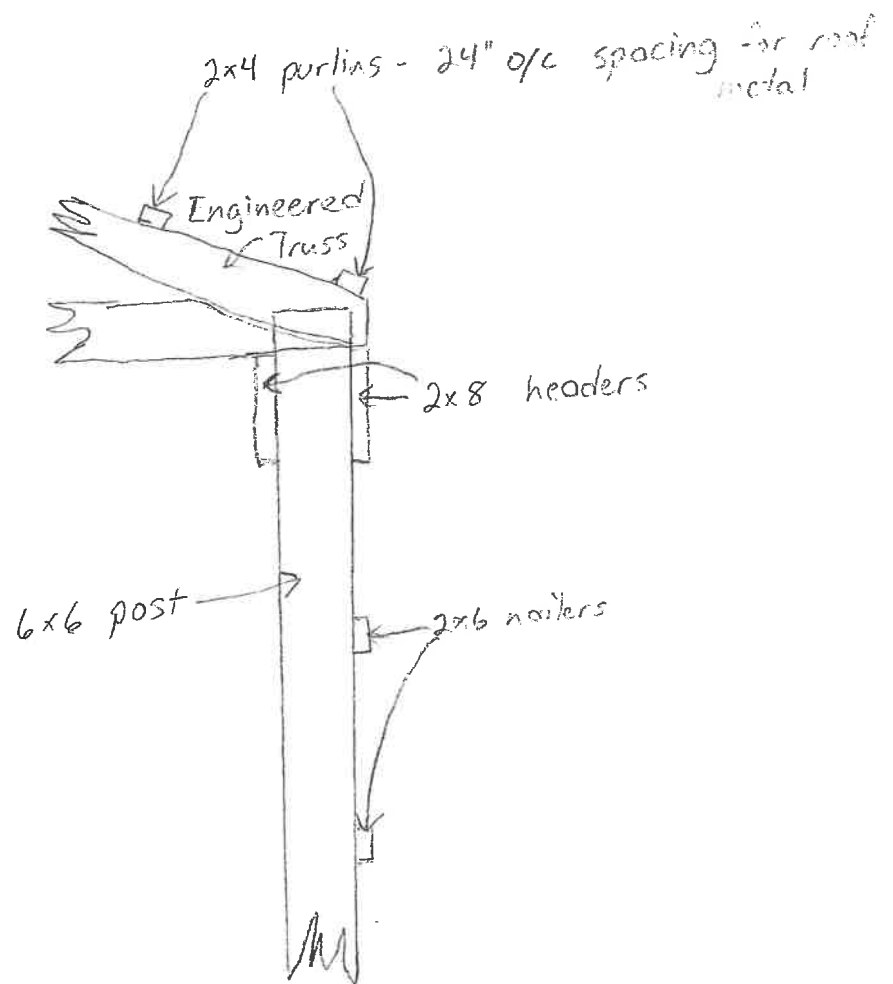
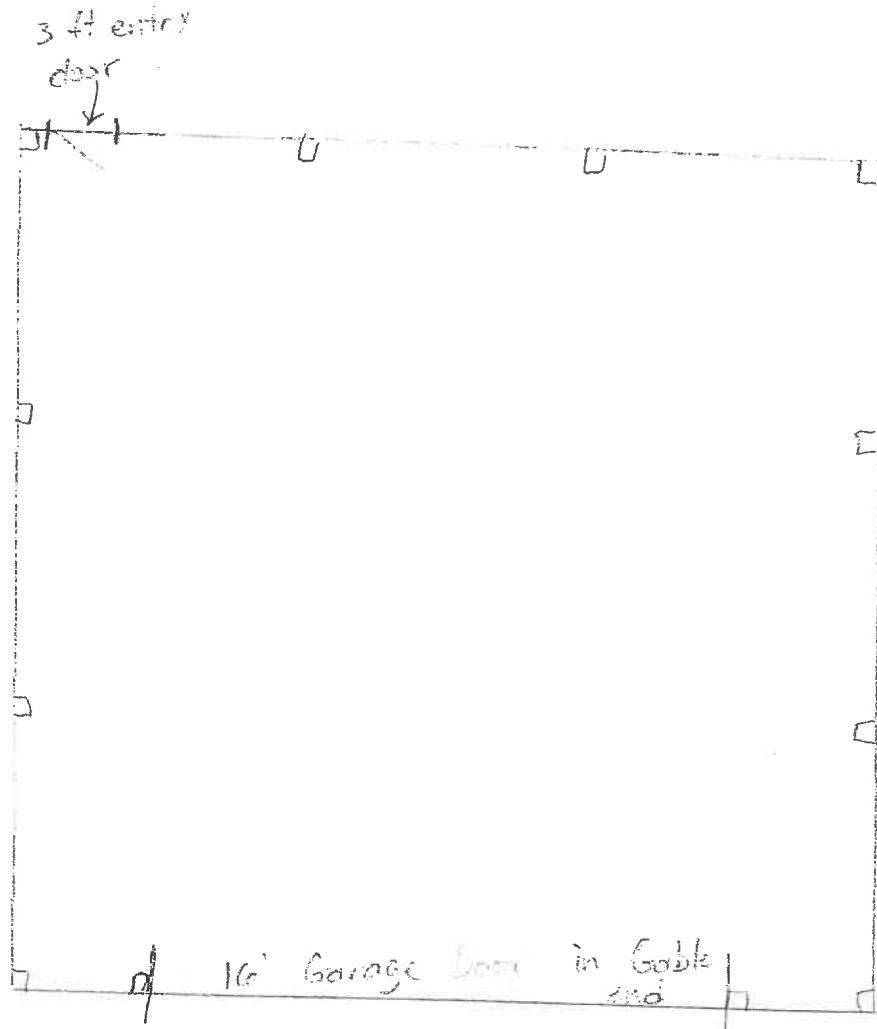


Figure #3

Building Layout 24x24 ft, post frame construction



8 ft post spacing on sides of building



Max Rib

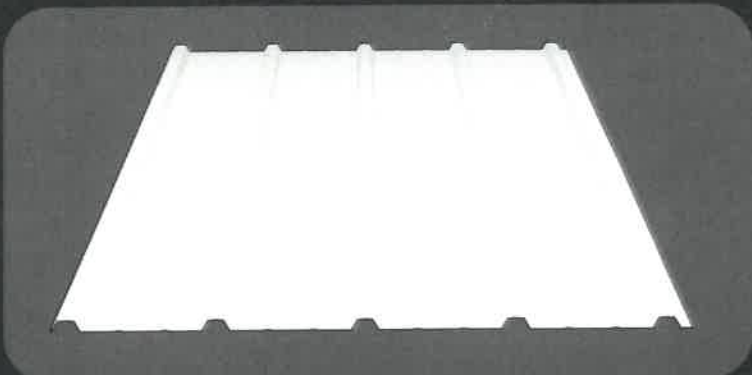
The Max- Rib is a low profile, wall and roof panel. This profile is used primarily in residential roofing, agricultural storage/ maintenance facilities and light commercial/ industrial buildings. Our most popular panel is produced in over 40 colors in 29 gauge steel and limited 26 gauge.

29
Gauge

26
Gauge

3/4"
MAXIMUM
RIB HEIGHT

RECOMMENDED
3:12
PITCH
AND ABOVE
PER IBC*



Manufactured with a Siphon Groove to minimize leaks and direct water down the panel.

Wide fastening surface for easy installation and defined panel ribs for clear screw placement.

Unique lap groove that hides the overlap providing a smooth, clean appearance.

The truss designs referenced below have been prepared by me or under my direct supervision based on the truss design criteria and requirements ("design criteria") provided by **North Country Truss**.

These truss designs are intended for the fabrication of individual building components that will perform to the design criteria provided. Any variance from the design criteria will render the affected truss designs inapplicable.

Listed below are the truss designs included in this package and covered by this seal.

Job: **Weathertite Exteriors - 1218630**
Johnson_T24

Any location identification is for file reference only. No determination of the appropriateness of design criteria for any specific project has been made in preparing the truss designs.

Please refer to individual truss designs for specific design criteria.



Arturo A. Hernandez (MO, 2006000095)
My license expiration date for the state of MO is 12/31/2024.

IMPORTANT NOTE: The responsibility of the engineer sealing this package, as a Truss Engineer, is solely for design of individual trusses as individual building components based upon design criteria provided by others and set forth in the referenced truss drawings. The truss design criteria for the components have not been verified as appropriate for any particular building, project or use. Adequacy and suitability of design criteria and requirements for the truss designs for any specific project are the responsibility of the building designer, not the Truss Engineer, per ANSI/TPI-1, Chapter 2.

DESIGN NOTES

1. The Truss Design Drawing(s) provided with these Design Notes have been prepared under and are subject to ANSI / TPI 1 published by the Truss Plate Institute, www.tpinst.org. Capitalized terms have the meanings provided in ANSI / TPI 1.
2. Copies of each Truss Design Drawing shall be furnished to the installation contractor, Building Designer, Owner and all persons fabricating, handling, installing, bracing, or erecting the trusses.

DESIGN LIMITATIONS

1. The Truss Design Drawing is based upon specifications provided by the Building Designer in accordance with ANSI / TPI 1. Neither the Truss Designer, Eagle, nor an engineer who seals this design (if any) assumes any responsibility for the adequacy or accuracy of specifications provided by the Building Designer.
2. The Building Designer is solely responsible for the suitability based upon the Truss Design Drawing and shall be responsible for reviewing and verifying that the information shown is in general conformance with the design of the Building.
3. Each Truss Design Drawing is for the individual building component (a Truss). A seal on the Truss Design Drawing indicates acceptance of professional engineering responsibility solely for the individual truss.
4. Each Truss Design Drawing assumes trusses will be suitably protected from the environment.

HANDLING, INSTALLING, & BRACING

1. Refer to Building Component Safety Information (BCSI) for handling, installing, restraining and bracing trusses. Copies can be obtained from the Structural Building Components Association, www.sbcindustry.com.
2. Bracing shown on each Truss Design Drawing is for lateral support of individual truss components only to reduce buckling lengths. All temporary and permanent bracing, including lateral load and diagonal or cross bracing, are the responsibility, respectively, of the erector and Building Designer.
3. Eagle is not responsible for improper truss fabrication, handling, erection or bracing.
4. Compression chords shall be laterally braced by the roof or floor sheathing, directly attached, or have pullins provided at spacing shown, unless noted otherwise.



WARNING: Failure to follow may result in property damage or personal injury.

SYMBOLS

PLATE SIZE

3004 - The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots.

7/16 - Indicates required direction of slots; Reference "Joint Details" for more information.

20 Ga Gr40 connectors required

30010-2015 - 20 Ga Gr60 connectors required

30010-2015S - 18 Ga Gr60 connectors required

LATERAL BRACING

When this symbol shown, continuous lateral bracing is required on the member of the truss.

BEARING

Indicates location where bearings (supports) occur.

PLATE LOCATION & ORIENTATION

The plate shall be centered on joint and/or placed in accordance with the design drawing/QC full scale details.



REFERENCES

- **ANSI / TPI 1:** National Design Standard for Metal Plate Connected Wood Trusses
- **BCSI:** Building Component & Safety Information - Guide to Good Practice for Handling, Installing, Restraining, & Bracing of Metal Plate Connected Wood Trusses.
- **NDS:** National Design Specification for Wood Construction
- **ESR:** 1022, published by the International Code Council, www.icc-es.org

11. Bottom chord required bracing shall be at 10ft spacing or less, if no structural rated ceiling is installed, unless noted otherwise.

12. Strongbacking shall be installed on all parallel chord trusses, including flooring systems, to limit deflection and reduce vibration. Refer to BCSI-B7.

13. Never exceed the design loading shown. Never stack building or other materials on inadequately braced truss; refer to BCSI.

14. Concentration of construction loads greater than the design loads shall not be applied to the trusses at any time; refer to BCSI.

15. Trusses shall be handled with care prior to erection to avoid damage. Refer to BCSI for recommended truss handling and erection.

MATERIALS & FABRICATION

16. Lumber moisture content shall be 19% or less at the time of fabrication unless noted otherwise.

17. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.

18. Unless expressly noted, the truss designs are not applicable for use with fire retardant or preservative treated lumber.

19. Plates shall be applied on both faces of truss at each joint and embedded fully. Knots and wane at joint locations shall be regulated in accordance with ANSI / TPI 1.

20. For a specified plate gauge and grade, the specified size is a minimum.

21. Connections not shown are the responsibility of others.

22. Adequate support shall be provided to resist gravity, lateral and uplift loads.

23. For 4X2 truss orientation, locate plates 0 - 1/16" from outside the edge of the truss.

24. Fabrication of truss shall be in accordance with ANSI / TPI 1.

OTHER NOTES

25. Camber is a non-structural consideration and is the responsibility of truss fabricator.

26. Do not cut or alter any truss member or plate without prior approval from a professional engineer.

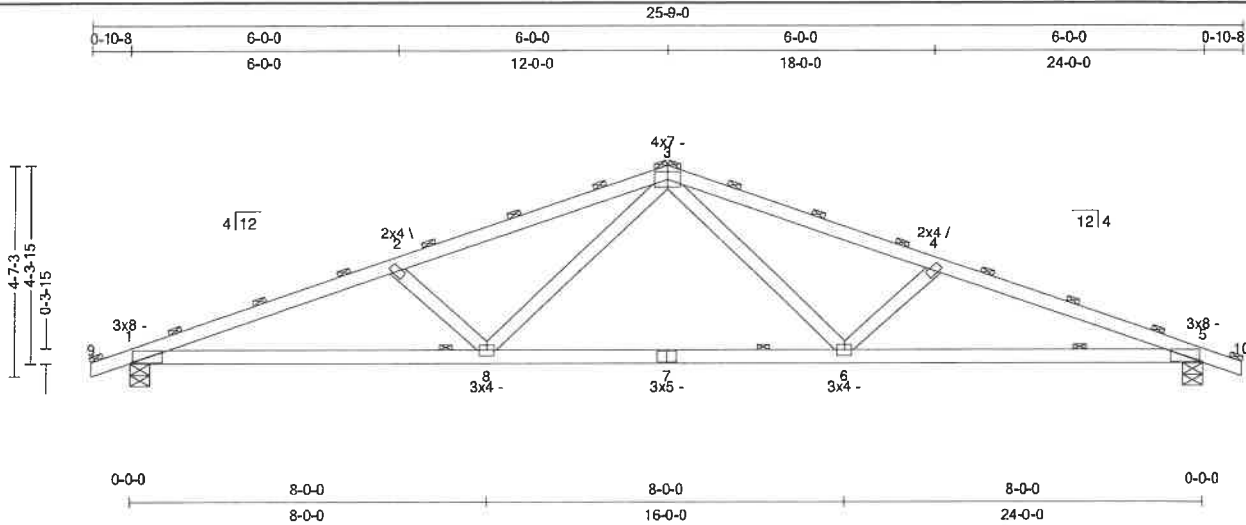
27. Lumber design values are in accordance with ANSI / TPI 1; lumber design values are by others.

28. Install specified hangers per manufacturer recommendations.

North Country Truss
4890 E HWY 6
Address 2
Maysville MO 64469

Truss: Johnson_T24
Job: Weatherite Exteriors
Designer: Matthew
Date: 09/09/24 11:58:18
Page: 1 of 1

SPAN 24-0-0	PITCH 4/12	QTY 1	OHL 0-10-8	OHR 0-10-8	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 48 in	WGT/PLY 95 lbs
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All plates shown to be Eagle 20 unless otherwise noted.

Loading (psf)	General	CSI	Deflection	L/	(loc)	Allowed
TCLL: 20.2	Bldg Code: IBC 2018/	TC: 0.73 (3-4)	Vert TL: 0.35 in	L/794	7	L/120
TCDL: 5 (rake)	TPI 1-2014	BC: 0.85 (5-6)	Vert LL: 0.2 in	L/999	7	L/180
BCLL: 0	Rep Mbr: No	Web: 0.45 (3-6)	Horz TL: 0.1 in		5	
BCDL: 5	Lumber D.O.L.: 125 %					

09/09/2024

Reaction

JT	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
1	1	5.5 in	1.86 in	1,578 lbs		-389 lbs	-192 lbs	-389 lbs	-9 lbs
5	1	5.5 in	1.86 in	1,578 lbs		-389 lbs	-192 lbs	-389 lbs	

Material

TC: SYPSS 2 x 4
BC: SYP#1 2 x 4
Web: SYP#3 2 x 4

Bracing

TC: Purlins at 24" OC, Purlin design by Others.
BC: Sheathed or Purlins at 7-1-0, Purlin design by Others.

Loads

- This truss has been designed for the effects of balanced (20.2 psf) and unbalanced flat roof snow loads in accordance with ASCE7 - 16 with the following user defined input: 30 psf GSI, Terrain C, Exposure (Ce = 1.0), Thermal (Ct = 1.20), DOL = 1.15. Unobstructed slippery surface. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
- This truss has been designed to account for the effects of ice dams forming at the eaves.
- This truss has been designed for the effects of wind loads in accordance with ASCE7 - 16 with the following user defined input: 105 mph (Factored), Exposure C, Partial, Gable, Risk Category I, h = 15 ft, Not End Zone Truss, Both end webs considered. DOL = 1.60
- This truss has been designed for the effects of TC LL = 20 psf.
- Unbalanced roof live loads have not been considered.
- Minimum storage attic loading has not been applied in accordance with IBC 1607.1
- In accordance with IBC 1607.1, minimum BCLL's do not apply.
- This truss is designed as an agricultural truss which for the purposes of this program is defined as a structure that represents a low hazard to people and property. See BCSI-10 for installation and temporary bracing.

Member Forces

Table indicates: Member ID, max CSI, max axial force, (max compr. force if different from max axial force). Only forces greater than 300lbs are shown in this table.

TC	1-2	0.562	-3,752 lbs	3-4	0.733	-3,160 lbs									
	2-3	0.733	-3,160 lbs	4-5	0.562	-3,752 lbs									
BC	5-6	0.846	3,503 lbs	(-751 lbs)	6-8	0.611	2,234 lbs	(-411 lbs)	8-1	0.846	3,503 lbs	(-751 lbs)			
Web	2-8	0.218	-885 lbs		3-8	0.452	1,090 lbs	(-120 lbs)	3-6	0.452	1,090 lbs	(-120 lbs)	4-6	0.218	-885 lbs

Notes

- Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- Building Designer shall verify self weight of the truss and other dead load materials do not exceed TC DL 5 psf.
- Building Designer shall verify self weight of the truss and other dead load materials do not exceed BC DL 5 psf.
- Design assumes minimum x2 (flat orientation, visually graded) purlins attached to the top of the TC at purlin spacing shown with at least 2-10d nails.
- Brace bottom chord with approved sheathing or purlins per Bracing Summary.
- Lateral bracing shown is for illustration purposes only and may be placed on either edge of truss member.
- A creep factor of 1.00 has been applied for this truss analysis.
- The "SYP" label shown in the "Material Summary" above indicates the new SPIB design values effective June 1, 2013 were used.
- Listed wind uplift reactions based on MWFRS & C&C loading.





Survey number: CL-AS-015-003		2. SURVEY NAME: Boardinghouse Historic Resource Inventory	
3. COUNTY: CLAY		4. ADDRESS (STREET NO. 411)	STREET (NAME) Benton Avenue
5. CITY: Excelsior Springs	Vicinity <input type="checkbox"/>	6. UTM /	OR LAT: 39.34104
8. HISTORIC NAME (IF KNOWN):		9. PRESENT/OTHER NAME (IF KNOWN):	
10. OWNERSHIP <input type="checkbox"/> PRIVATE <input checked="" type="checkbox"/> PUBLIC		11A HISTORIC USE (IF KNOWN): Single Dwelling	11B CURRENT USE: VACANT

HISTORICAL INFORMATION

12. CONSTRUCTION DATE: c. 1899	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input checked="" type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 2)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 2)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE? <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input checked="" type="checkbox"/> DISTRICT POTENTIAL <input checked="" type="checkbox"/> C <input type="checkbox"/> NC <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input checked="" type="checkbox"/>		22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input checked="" type="checkbox"/>

ARCHITECTURAL INFORMATION

23. CATEGORY OF PROPERTY: <input checked="" type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL: Asphalt	37. WINDOWS: <input type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT: Boarded Over
24. VERNACULAR OR PROPERTY TYPE: Gable-Front-and-Wing	31. CHIMNEY PLACEMENT: N/A	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input checked="" type="checkbox"/>
25. STYLE: Folk Victorian	32. STRUCTURAL SYSTEM: Frame	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input type="checkbox"/> ALTERED DATE(S): <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S):
26. PLAN SHAPE: Irregular	33. EXTERIOR WALL CLADDING: Asbestos Siding	ENDANGERED BY:
27. NO. OF STORIES: 1 1/2	34. FOUNDATION MATERIAL: Stone	40. NO OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
28. NO. OF BAYS (1ST STORY): 4	35. BASEMENT TYPE: Unknown	41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION <input checked="" type="checkbox"/>
29. ROOF TYPE: Cross-Gable	36. FRONT PORCH TYPE/PLACEMENT: Full-Width, Open Porch	

OTHER

42. CURRENT OWNER/ADDRESS: LAND CLEARANCE FOR REDEVELOPMENT 201 E BROADWAY ST EXCELSIOR SPRINGS MO 64024	43. FORM PREPARED BY (NAME AND ORG.): Rosin Preservation, LLC Lauren Rieke 215 W. 18th Street #150 Kansas City, MO 64108 816-472-4950 Lauren@rosinpreservation.com	44. SURVEY DATE: 8/21/2014
		45. DATE OF REVISIONS:

FOR SHPO USE

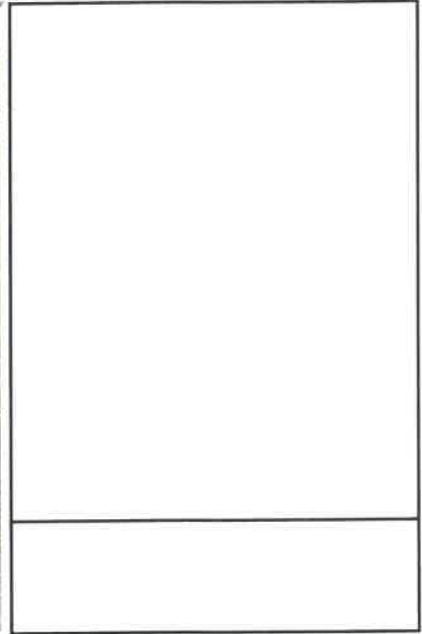
DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input checked="" type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT	OTHER:	
NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input checked="" type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		

PHOTOGRAPHS

PHOTOGRAPHER Brad Finch, F-Stop Photography

DATE 8/21/2014

DESCRIPTION: North elevation, view south.



ADDITIONAL INFORMATION

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PA

The one-and-one-half-story Folk Victorian house has a stone foundation, asbestos siding and an asphalt shingle cross-gable roof. Historic wood fishscale shingles fill the gable end. A large truncated hip wing projects from the south elevation. A porch with turned columns and a wood rail spans the primary (north) elevation. This elevation has four bays. Window openings fill Bays 1 and 4; single doors fill Bays 2 and 3. A fixed window pierces the gable. Particle board panels cover window openings on each elevation. This house is similar in form to 407 Benton Avenue and 413 Benton Avenue.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house is set back from the street at the center of the lot. Mature trees dot the property. A concrete sidewalk and wood stairs access the porch.

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAG

The house was built c.1899 on land platted in 1887. The date of 1899 is an estimation based partly on the style of the home, as records are scarce and Sanborn Fire Insurance Maps do not cover this area until 1909. According to the Sanborn Fire Insurance Maps, this home has not had any additions since 1909. The City Directories show J.F. Rose at the address in 1917 and C.M. Clevenger as owner/occupant in 1922. The 1940 phone book lists F.R. Cullumber at the address. [Boardinghouse Historic District Survey, 1994]

ELIGIBILITY STATEMENT:

The historic house retains sufficient historic character to communicate association with potential areas of significance and would be contributing to a potential historic district.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAG

PREVIOUS SURVEY NAME: Boardinghouse Historic District Survey, 1994; CL-AS-007-003
 Sanborn Fire Insurance Maps, 1894-1940--Kansas City, MO Public Library, Missouri Valley Special Collections; Excelsior Springs city directories and Phone Books--Excelsior Springs Museum: Plats and Additions files--City Planning Department, City of Excelsior springs, MO; Miscellaneous files and reference materials--Excelsior springs Museum.

LOCAL REGISTER DISTRICT NAME: Boardinghouse Historic District

LOCAL REGISTER DESIGNATION DATE: 2010

LOCAL REGISTER DISTRICT C OR NC:

Outbuildings

Outbuildings are defined as a building, such as a shed, barn, playhouse, garage, or carriage house located on the same property, such separate from the primary structure. Any outbuilding moved into a historic district will be treated as new construction and is subject to the same design guidelines.



Example of a new garage to a historic building. The new garage resembles the historic house in size, scale, form, materials, and detailing. (STRATA)

9.25 Historic garages and other outbuildings are not allowed to be demolished to construct a new garage or outbuilding without just cause, as outlined in Chapter 11. Historic outbuildings are highly encouraged to be restored.

9.26 New garages or outbuildings should be located to the rear of the property, to reduce visibility from the public right-of-way.

9.27 The size, scale, and overall design of the outbuilding or garage should respect the primary building and not overwhelm the historic building.

9.28 New garages and outbuildings should have the same roof shape as the primary building.

9.29 The design of the garage and outbuilding should incorporate the details of the primary building without replicating them.

9.30 New garages and outbuildings should be similar in color and materials as the primary buildings.

9.31 All garages and outbuildings should be painted or stained to match the primary building.

9.32 All doors and windows should be compatible with the doors and windows on the primary structure in terms of materials, color, style, and size. New windows do not need to exactly replicate the historic windows.

9.33 Metal or fiberglass carports, mobile houses, modular houses, metal buildings, pole barns, concrete block buildings, and temporary buildings are not allowed.



Community Development
Historic Preservation Commission Meeting - 10/9/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-045

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-045	Cover Memo	10/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



October 7, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-045 – An application by Bethany Harvey for a Certificate of Appropriateness for installing a sign at the business located at 463 S. Thompson.

Historic District: Hall of Waters District

Background: This “multiple entries with display windows” commercial building was constructed around 1922 to 1926 and has retained much of its architectural integrity. There are seven recessed entries for the commercial businesses, and most of the transom areas have been closed down and contain the signage area for the businesses. The Historic Preservation Commission has reviewed several signage requests for businesses in this location over the years. The applicant is proposing to install a new thin metal sign for their business which will be placed on the front façade of the building. The sign will be approximately three feet tall and twenty-three feet wide with black lettering.

Staff Review: The proposed sign continues the standard size and location of the commercial signage on the building and meets the city sign standards. The location and design of the sign appear appropriate to the area. The design guidelines state that signs should be scaled to pedestrians rather than automobiles however along this strip of S Thompson the Commission has recognized that this area is quite automotive focused and has allowed for scaling to be automotive focused in addition to pedestrian focused.

Staff Recommendation/Action Requested: City staff finds the application is consistent with the Excelsior Springs Historic Preservation Guidelines.

Staff recommends approval of the COA application.

Respectfully Submitted,

Melinda Mehaffy
City of Excelsior Springs

Attachments: Exhibit A- COA Application
Exhibit B- Photograph of Sign
Exhibit C- Excelsior Springs Historic Survey
Exhibit D- Historic Preservation Design Guideline for signage



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 9/18/24

Accounting Code (PP)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-045
Administrative HPC
(for office use only)

Date: 9/18/24 Property Address: 463 S. Thompson Ave Excelsior Springs
Applicant: Bethany Harvey Telephone No.: 816-729-9321
Applicant's Mailing Address: 718 Wellington St Richmond, MO 64085
Email: glasshouse.tattoo.studio@gmail.com
Owner (if different from Applicant): Bethany Harvey & Levi Staley

Historic District: Hall of Waters Elms Boarding House Local Landmark
• Are Federal or State permits, licensing or monies included in the project Yes No
• If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

EXTERIOR ALTERATION NEW CONSTRUCTION
 SIGNAGE DEMOLITION
 BUILDING RELOCATION REGRADING/FILL

Bethany Harvey
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED
PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

Signage Approval, Metal Sign with Vinyl

Background will be black, the ~~z~~ lettering will be a gold tone. No lights, 23 ft x 3 ft dimensions.



Signage

- 10.20 New signs should be appropriate in size, scale, and color to the historic buildings.
- 10.21 Signs should be scaled to pedestrians rather than automobiles.
- 10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.
- 10.23 The color and materials of the signage should coordinate with the historic district.
- 10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.
- 10.25 Permitted Sign Types
- Flush-mounted wall signs
 - Window Signs
 - Projecting Signs
- 10.26 Non-Permitted Sign Types
- Roof-mounted signs
 - Poorly made or temporary signs
- 10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations