

**Historic Preservation Commission
Council Chambers
Hall of Waters Building
201 East Broadway
Excelsior Springs, MO**



Meeting Notice

August 14, 2024 at 5:00 PM

Council Chambers

Zoom Meeting:
Google Zoom.US
Meeting ID: 827 8896 7125
Passcode: 301032

Agenda

1. Call to Order
2. Roll Call
3. Approval of Meeting Summary: July 10, 2024
 - a. July 10,2024
4. Comments from Public
5. Administratively approved COAs: None
6. COA: HPC-24-006ADD - an application by Jeff Watkins for a Certificate of Appropriateness for a change to previously approved garage door at 111 N Main.
COA: HPC-24-006ADD
7. COA: HPC-24-030 - an application by Carol Ann Baxter for a Certificate of Appropriateness for placement of new sign located at 217 E Broadway.
COA: HPC-24-030
8. COA: HPC-24-031 - an application by Kerrie Amos for a Certificate of Appropriateness for placement of a new sign located at 215 E Broadway.
COA: HPC-24-031
9. COA: HPC-24-032 - an application by T.D. Sylla LLC for a Certificate of Appropriateness for a sign and landscaping at 415 Saint Louis Ave.
COA: HPC-24-032
10. COA: HPC-24033 - an application by Nicole Russell for a Certificate of Appropriateness for placement of new sign located at 461 S Thompson Ave.
COA: HPC-24-033

11. Discussion Item: Matrix

Matrix

12. Staff Comments

13. Comments of Commissioners

14. Adjourn

Copies of this notice are available by contacting the Community Development Department at 201 E. Broadway, Excelsior Springs, MO 64024. 816-630-0756

Date and time posted: August 9, 2024 @11:40 a.m.



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: July 10,2024

ATTACHMENTS:

Description	Type	Upload Date
July 10,2024	Cover Memo	8/9/2024

HISTORIC PRESERVATION COMMISSION Meeting Summary

July 10, 2024

Item 1. Call to Order

Chairman Bissell called the meeting to order at 4:59 p.m.

Item 2. Roll Call

PRESENT: Betty Bissell, Darryl Coutts, Dennis Hartman and Anna Sue Spohn and Jason Van Till.

ABSENT: Susan Blaser and Rick deFlon

PUBLIC PRESENT: Jody and Linda Pasalich, Logan Forbis (via zoom) and Phillip Scherer.

STAFF PRESENT: Melinda Mehaffy, Economic Development Director, Mayor Mark Spohn, City Council Liaison, Laura Mize, Neighborhood Specialist and Lisa Morgan Administrative Assistant and Trish Guarino.

Item 3. Approval of meeting Summary from June 12, 2024.

Commissioner Coutts made a motion to approve the meeting summary for the May 8, 2024 meeting. Commissioner Hartman seconded the motion. Motion Carried.

Vote: Motion Approved 5-0-0

Yes: Commissioners: Bissel, Coutts, Hartman, Spohn and Van Till.

No: None

Abstain: None

Item 4. Comments from Visitors: None

Item 5. Administratively approved COAs since last meeting: None

Item 6. COA: HPC-24-028 - an application by Jody and Linda Pasalich for a Certificate of Appropriateness for exterior modifications at 115 E Broadway.

Chairman Bissell asked for the staff report.

Ms. Mehaffy presented the information as listed in the staff report.

Chairman Bissell asked if there were any questions?

Commissioner Van Till said he needed some clarification, in the application it says there is existing concrete, where is that located. Ms. Mehaffy said it's on the inside of the building.

Ms. Mehaffy asked the applicant Mr. Pasalich; if the entrance was going to be tile, he said it is going to be a grey concrete he thinks.

Chairman Bissell said that it would be slick and she thought that is why Strum Brothers have a carpet in their entry way in to the building. Mrs. Pasalich said they would be putting something down as well, because it does get slick when the weather is wet.

Chairman Bissell asked if there were anymore questions, hearing none she requested a motion.

Commissioner Hartman made a motion to approve HPC-24-028.

Commissioner Spohn seconded the motion. The motion carried.

Vote: Motion to approve 5-0-0

Yes: Commissioners: Bissell, Coutts, Hartman, Spohn and Van Till.

No: Commissioners: None

Abstain: None

Item 7. COA: HPC-24-029 - an application by Thrive Homes LLC for a Certificate of Appropriateness for exterior modification at 528 Benton Avenue.

Chairman Bissell asked for the staff report.

Ms. Mehaffy presented the information as listed in the staff report.

Chairman Bissell asked if there were any questions?

Chairman Bissell asked if they were going to put back the same kind of ramp that was there before?
Ms. Mehaffy said it was going to be a switch back ramp.

Chairman Bissell asked what kind of material is the ramp going to be made out of.

Mr. Forbis the applicant said it would be a metal ramp that is removable.

Ms. Mehaffy said our design guidelines does not specifically address ADA ramps; however, it does state life safety issues and we felt that the child who resides there could not get out of the house safely.

Commissioner Coutts said the existing wooden ramp doesn't meet building standards it's too steep.

Ms. Mehaffy said the ramp almost has to come to the upper sidewalk and angle back towards the driveway to get the building requirements met.

Chairman Bissell asked if there were any more questions, hearing none she asked for a motion.

Commissioner Van Till made a motion to approve HPC-24-029
Commissioner Coutts seconded the motion. The motion carried.

Vote: Motion to Approve 5-0-0

Yes: Commissioners: Bissell, Coutts, Hartman, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Item 9. Comments from Staff:

Ms. Mehaffy said we already have two cases for next month to bring before the commission.

We had the comp plan kick off at the end of June. We have had really good conversation, Betty attended last night's meeting and we appreciate her attending to represent Historic Preservation Commission.

The Chamber, DEP and the City have applied to be a Connecting Entrepreneurial Communities Conference host for 2025. The University of Missouri is bringing a team here Wednesday the 17th from 4 to 7 pm. We are going to be doing our share during the time they are going to be in our community. We will be sending people to the conference Tuesday, Wednesday and Thursday. We are hoping we can get this conference.

We have a new code officer who started on Monday her name is Trish Guarino and we are excited to have her. We have been without a code officer since February, that doesn't mean the work has stopped. Laura has been doing that work and still trying to do Neighborhoods work. She will be transitioning the code work over to Trish.

Another thing to let you know August 7th the State Historic Preservation office will be here. They have the easement on the Hall of Waters and they quit accepting easements 12 years ago. In April we received a letter regarding the existing easement and requests for an update on completed work. We have submitted what we had done through the Save America's Treasures (SAT) grant. They are coming to make sure we have not damaged the front of the building. We are going to be their first test case to ensure the work on the building is correct. They may be reopening their easement program and the Hall may be their first case as we have to put a new 50 year easement on the property for the SAT grant.

Also, the mylar around the center lights above the water bar at the Hall of Waters has had some damage. We have reached out to Tim Ashlock to look and see if it can be repaired. We will also be working on some of the broken glass on the lights in the horseshoe parking area.

Chairman Bissell said the lights in the Hall of Springs are not glass; they are some kind of material that over time deteriorated

Item 10. Comments from Commissioners: None

The meeting was adjourned at 5:23 p.m.

The next meeting of the Commission is August 14, 2024 at 5:00 p.m.

Meeting Summary prepared by Lisa Morgan Historic Preservation Secretary



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-006ADD

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-006ADD	Cover Memo	8/9/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



August 8, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-006ADD – An application by Jeff Watkins for a change to previously approved garage door at 111 N Main.

Historic District: Hall of Waters District

Background: This commercial building is located at the southeast corner of N. Main and E. Excelsior Streets. The building fills the entire lot to the sidewalk. This building has operated as a one-story frame grocery, restaurant, dwelling and a furniture store. Remnants of the R. W. Pack & Co. Furniture sign painted on the building can still be seen today.

The applicant came before the commission recently to request a number of modifications to the property which included removal of the existing garage doors and replacing them with a garage door with glass insets. Upon further research the applicant would like to revise the request to replace the garage doors with a Smooth-Pro Folding Wall System that is a door system that would fit in the existing opening. Above the doors would be new transom windows to that the opening size does not change.

Staff Review: The design guidelines suggest historic storefronts should be maintained and preserved when possible. Replacement storefronts should be compatible with the historic building and maintain dimension, pattern, and scale of the original. Replacement storefronts should be appropriate for the style and age of the building (Page 84).

The design guidelines states that openings should maintain the size, shape, placement and configuration when possible. While these doors are not historic in nature, these do appear to mimic the historic door configuration (Page 81) that the applicant is doing on other openings in the building.

Staff Recommendation/Action Requested: Staff recommends approval of the COA application.

Respectfully Submitted,

Melinda Mehaffy
City of Excelsior Springs

Exhibit A- COA Application
Exhibit B- Current photo of building
Exhibit C- Excelsior Springs Historical Survey
Exhibit D- Excelsior Springs Historical Preservation Design Guidelines Doors and Entries page 80-81;
Storefronts, page 84



COMMUNITY DEVELOPMENT
 PLANNING & ZONING
 201 East Broadway
 Excelsior Springs, MO 64024
 Phone: (816) 630-0756

FOR OFFICE USE ONLY
 Fee: \$25.00
 Date Received: 2-14-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-006 ADD
 Administrative HPC
 (for office use only)

Date: 2/13/24 Property Address: 111 N Main
 Applicant: Jeff Watkins Telephone No.: 816-935-0380
 Applicant's Mailing Address: 30893 W 152nd St Ex Springs, MO
 Email: thelawnboyjw@aol.com
 Owner (if different from Applicant):

Historic District: Hall of Waters Elms Boarding House Local Landmark
 • Are Federal or State permits, licensing or monies included in the project Yes No
 • If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

EXTERIOR ALTERATION NEW CONSTRUCTION
 SIGNAGE DEMOLITION
 BUILDING RELOCATION REGRADING/FILL

PAID
 FEB 14 2024

BY: [Signature]

[Signature]
 Applicant Signature

[Signature]
 Reviewed, Planning & Zoning

Betty Beisell
 Approved, HPC Chairman

Disapproved, HPC Chairman

Melinda [Signature]
 Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

- Add 5 apartments upstairs
- Remove existing roof all the way to decking + replace with Pirestone rubber roof.
- Remove garage door + install new glass door
- Add exterior door to access apartments off of E Excelsior st
- Remove white siding + replace w/ like materials (door way)
- Tuck point building
- Scrape + paint store front on N Main (white)
- Repair skim coat on North side of building
- Add new gutters (white)
- Add windows where missing (need pictures)
- Add 2 Hvac units (FULL UNITS)
- New plumbing
- New electrical
- Replace sidewalk
- Mount Etna SW 7625 instead of white



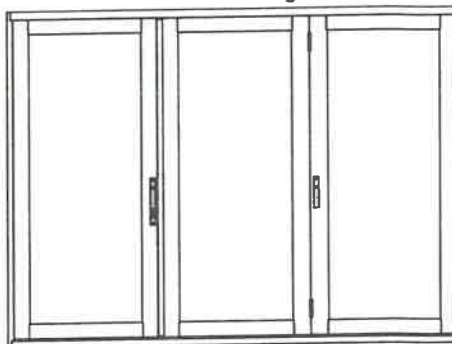
Thank you for selecting JELD-WEN products. Attached are JELD-WEN's recommended installation instructions for Smooth-Pro™ F-4500 Fiberglass Folding Wall System. Read these instructions thoroughly before beginning. They are designed to work in most existing applications, however; existing conditions may require the use of alternative methods to these instructions. If changes are needed, they are made at the installer's risk. For installations other than indicated in these instructions, contact a building professional. JELD-WEN does not endorse the installation of our products into a barrier-type install system unless a sill pan is present, incorporated with through-wall flashing and can drain to the exterior (along with other "required" components). Failure to do so may result in the denial of any warranty claims. To adequately protect your wall system, please refer to "Appropriate Protection for Exterior Doors" for information on protection requirements at www.jeld-wen.com. Areas such as Florida and the Texas TDI region have different anchoring requirements based on product certification. For information on specific products, visit www.floridabuilding.org or www.tdi.texas.gov and follow the anchoring schedule given in the drawings for the product instead of the anchoring schedule in this document.

Configurations

2-Slab Folding



2+1 Folding



CAUTION

A minimum of 3-people will be needed to install and safely move wall system units.

IMPORTANT INFORMATION | TABLE OF CONTENTS | GLOSSARY

JELD-WEN does not endorse the installation of our products into a barrier-type install system unless a sill pan is present, incorporated with through-wall flashing and can drain to the exterior (along with other "required" components). Failure to do so may result in the denial of any warranty claims.

PLEASE NOTE: Installations, where the sill is higher than 35 feet above ground level or into a wall condition not specifically addressed in these instructions, must be designed by an architect or structural engineer. Failure to properly finish or install square, level and plumb and on a flat surface (without peaks and valleys) could result in denial of warranty claims for operational or performance problems.

NOTE TO INSTALLER: Provide a copy of these instructions to the building owner. By installing this product, you acknowledge the terms and conditions of the limited warranty as part of the terms of the sale.

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NOTICE

JELD-WEN advises against product installation in high interior water exposure environments such as showers, steam rooms and enclosed pool areas. These areas are beyond the tested/certified design intent if the window and any related warranty claims could be denied on that basis.

Glossary

Backer Rod (backing material)

A material (foam rod) placed into a joint primarily to control the depth and shape of the sealant. Also serves as a bond breaker.

Buck

A code-compliant framework built into a door or window opening in a concrete or masonry wall to which the door or window frame is secured.

Continuous Air Seal

A continuous seal put into the air gap area around the interior side of the fenestration perimeter to restrict infiltration or ex-filtration of air past the fenestration product.

Pilot Hole

A pre-drilled hole that is no larger than the body of the screw (minus the threads).

Rough Opening (R.O.)

The opening in a wall into which a window or door is to be installed.

Self-Adhered Flashing

Flexible-facing materials coated completely or partially on at least one side with an adhesive material and which do not depend on mechanical fasteners for attachment. They are used to bridge the joint (gap) between fenestration framing members and the adjacent water-resistive barriers or sealed drainage plane material. The purpose of flashing is to drain water away from the fenestration product to the exterior.

Please allow sufficient time to properly prepare the rough opening, install the door, and ensure its proper operation.

SAFETY AND HANDLING

Safety

- Read and fully understand **ALL** manufacturer's instructions before beginning. Failure to follow proper installation and finishing instructions may result in the denial of warranty claims for operational or performance problems.
- **DO NOT** work alone. **Three or more people are required.** Use safe lifting techniques.
- Use caution when handling glass. Broken or cracked glass can cause serious injury.
- Wear protective gear (e.g., safety glasses, gloves, ear protection, etc.).
- Operate hand/power tools safely and follow the manufacturer's operating instructions.
- Use caution when working at elevated heights.
- If disturbing existing paint, take proper precautions if lead paint is suspected (commonly used before 1979). Your regional EPA (www.epa.gov/lead) or Consumer Product Safety Commission offices provide information regarding regulations and lead protection.

⚠ WARNING

Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information, go to www.P65Warnings.ca.gov/wood.

Materials and Wall System Handling

- Heed material manufacturer's handling and application instructions.
 - The support buck must remain attached until the wall system is in front of the opening. The buck protects the sill and supports the frame corner fasteners.
 - Protect adhesive surfaces from dirt, moisture, direct sunlight and folding over onto themselves.
 - Handle in a vertical position; **DO NOT** drag on the floor.
 - **DO NOT** put stress on joints, corners or frames.
 - Store the wall system in a dry, leaning position to allow air circulation; **DO NOT** stack horizontally.
 - Ensure the storage area is dry, well-ventilated and **protected from exposure to direct sunlight.**
 - Only install into vertical walls when conditions and sheathing are dry.
- IF INJURY OCCURS, IMMEDIATELY SEEK MEDICAL ATTENTION!**

MATERIALS AND TOOLS

JELD-WEN exterior window and door products should be installed in accordance with JELD-WEN's recommended installation and flashing directions, which are shipped with the products or can be found on our website: www.jeld-wen.com. **NOTE:** When using flashing, spray adhesive/primer, sealant and foam products, we recommend using the same manufacturer and verifying compatibility. It is the End User's responsibility to determine if dissimilar materials are compatible with the substrates in the application.

Needed Materials

- 3/16" masonry screws for sill installation onto concrete. Screws must penetrate at least 1 1/2" into the substrate.
- Non-compressible, non-water degradable shims.
- Sill Pan: A pan flashing system (as defined in **ASTM E2112**) is **required** at the sill prior to window/door product installation. A sill pan should have a positive slope, **must be** installed onto the sill of the R.O. in a water-resistive manner and tied into the drainage plane of the building envelope. For sill pans without a positive slope, place a 3/16"-1/4" tall plastic shim 2" from each corner and no more than 8" on-center in between (excludes Canada and potentially large door systems). If an aftermarket sill pan is preferred, then we suggest the Manufacturer's instructions be followed.
- Sealant: An exterior grade (**High-Performing, Low VOC**) sealant is recommended for installation practices. Check with the sealant manufacturer for color-match options and paintability.
- Backer Rod: 1/8" larger than the widest portion of the gap (used in conjunction with sealant bead).

- Polyurethane Low-Expansion Window and Door Foam: A low-expansion, polyurethane window and door foam is recommended for installation practices. Avoid using moderate to high-expansion foam products as operational issues or damage may occur.

- Drip cap (if not supplied).

FOR INSTALLATIONS INTO A BUCK:

- Liquid-Applied Flashing.

FOR INSTALLATIONS INTO BRICK VENEER:

- Rigid Flashing.

Provided Materials

- #10 x 2 1/2" flat-head screws (through-frame installation).

Needed Tools

- Tape measure
- J-roller
- Caulking gun
- Vacuum to remove debris from sill track
- Drill and Impact driver with bits
- Utility knife
- Levels (3' and 6' recommended)
- Screwdrivers: #2 Phillips-head, #3 Phillips-head and a small flat-head screwdriver (3/32")
- 6" Drill bit extension - #2 Phillips-head or #2 Square-head
- 14 mm open-end wrench (slab adjustment only)
- Step ladder (2)
- Bar clamps
- Woodblock (for slab support)

1

INSPECT PRODUCT

NOTICE

If slabs need to be removed prior to installation, reference **Section 9: Slab Removal and Installation**

Remove Packaging

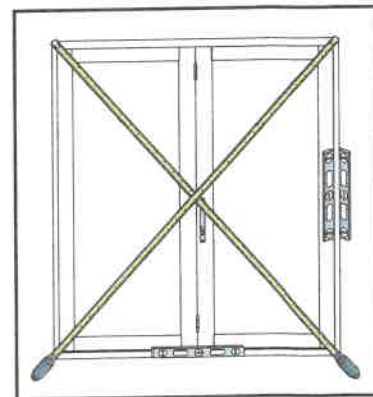
- If there is a protective film on the glass, **DO NOT** remove it until installation and construction are complete.
- **DO NOT** remove the support buck attached to the frame. The support buck should remain attached until the door unit is in front of the rough opening and is ready to be installed. In addition to protecting the sill, the buck reduces the stress placed on the corners of the frame.

Inspect Door

- Cosmetic damage and/or shipping damage.
- Manufacturing abnormalities (e.g., warp, bow, squareness).
- Correct product (size, color, grid pattern, handing, glazing, energy-efficiency requirements, etc.).

- Product squareness (diagonal measurements not more than 1/4" different).
- Frame or slab damage.

If any of the above conditions represent a concern, or if you expect environmental conditions to exceed the door's performance rating, **DO NOT** install the door. Contact your dealer or distributor for recommendations.



2

INSPECT ROUGH OPENING (R.O.)

Weatherproofing of the rough opening, along with the flashing and proper integration of the fenestration product with the water-resistant barrier, is the responsibility of the installer. JELD-WEN recommends strict adherence to the current version of ASTM E2112.

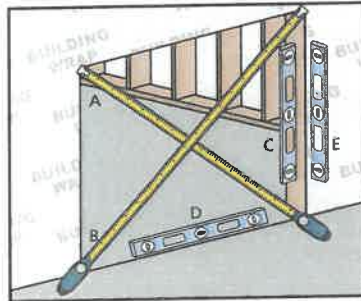
CAUTION

The use of a sill pan and other barriers will decrease the rough opening height clearance. Adjust the opening dimensions accordingly.

Rough Opening Requirements

- Verify the width and height of the rough opening is 1/2" larger than the wall system width and height.
- Verify the rough opening is square. The (A) and (B) measurements should be the same. Suggested deviation from square is no more than 1/4".
- Verify the rough opening is level and plumb (C, D and E). Suggested deviation is no more than 1/4".
- The rough opening sill should not be crowned or sagged (D), but rather level or sloped (positive slope) to the exterior.
- The exterior face of the rough opening should be in a single plane (E) with less than 1/8" twist from corner to corner.
- Minimum double studs (king and jack/trimmer) should be used to support the header at all rough openings.

Verify Square, Level and Plumb



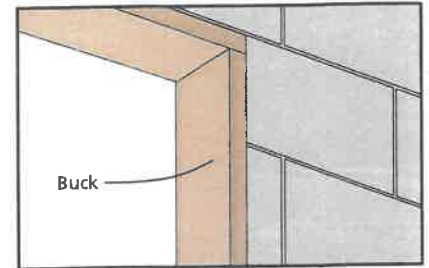
For Retrofit Installations

Verify the rough opening framing is structurally sound. Contact your local waste management entities for proper disposal or recycling of products being removed.

This installation guide only addresses masonry/block wall, sheathed wall, open-stud construction and brick veneer construction. Exterior foam installation should be treated as detailed within the "Fully Sheathed Wall Construction" with the door frame not protruding past the structural framing.

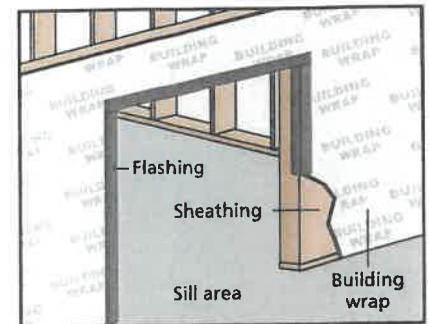
Masonry/Block Wall Construction

This installation assumes that a framework of studs (often called a buck) has already been properly fastened to the concrete/masonry wall in a weatherproof manner.



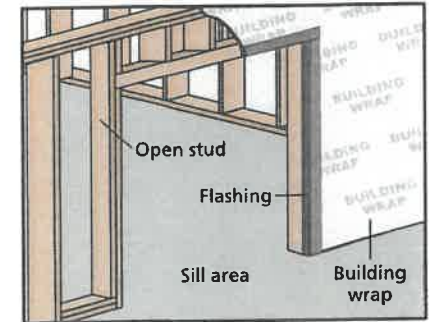
Fully Sheathed Wall Construction

Sheathing is applied to the exterior of the wall framing. The wall system will be mounted into the rough opening in a weatherproof manner.



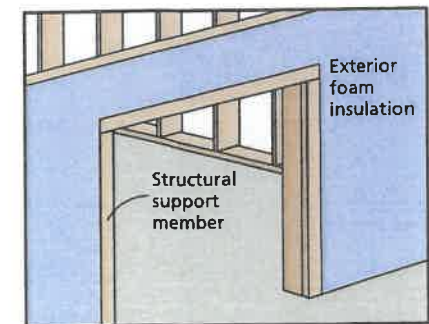
Open-Stud Construction

Sheathing is absent and building wrap is applied atop the wall framing. The wall system will be mounted into the rough opening in a weatherproof manner.



Exterior Foam Insulation Construction

Foam insulation is applied to the exterior of the wall framing. The door will be mounted to a structural support member on the same plane as the exterior foam insulation in a weatherproof manner (reference the latest version of FMA/AAMA/WDMA 500 for additional install and framing details).



3

ADDITIONAL CONSIDERATIONS - PREP AND FLASHING

Common Brick Veneer Rough Opening – Rigid Flashing and Sill Pan Detail

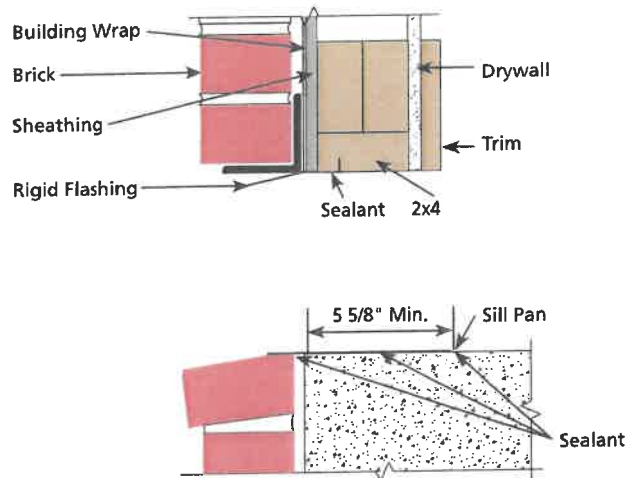
Horizontal View

- Use rigid flashing to bridge any air gap between brick and sheathing.



Vertical View

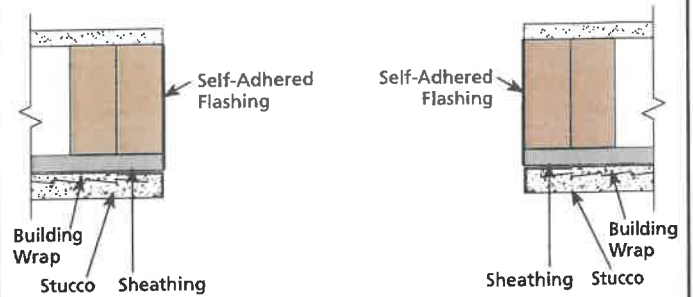
- Rigid flashing is suggested to bridge the gap between the header and the lintel.
- The required sill pan must not extend past the leading edge of the slab/subfloor. The minimum sill pan depth is 5 5/8".



Typical Stud Framed Rough Opening – Flashing and Sill Pan Detail

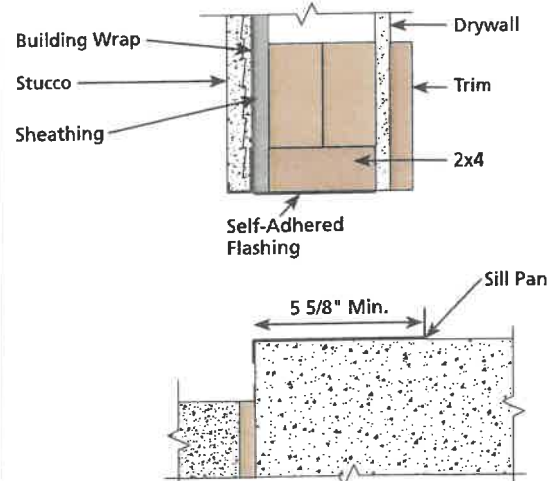
Horizontal View

- Flash the rough opening sides in a weatherproof manner and incorporate with the water-resistive barrier or exterior drainage plane.



Vertical View

- Flash the rough opening head in a weatherproof manner and incorporate with the water-resistive barrier or exterior drainage plane.
- The required sill pan must not extend past the leading edge of the slab/subfloor. The minimum sill pan depth is 5 5/8".



4

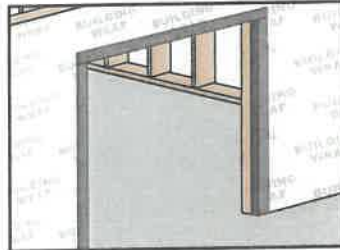
INSTALL SILL PAN FLASHING SYSTEM

Landings

These instructions cover two wall system sill conditions: the **step-down landing** and the **continuous slab landing**. The installation methods vary slightly between landing types.



Step-Down Landing

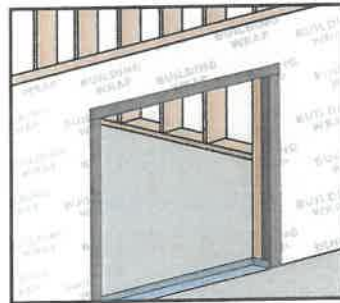


Continuous Slab Landing

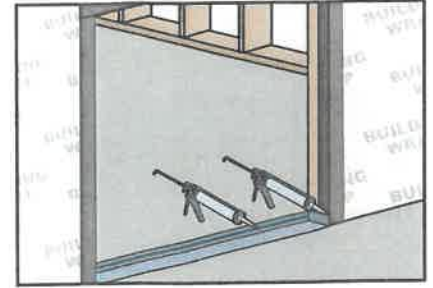
Prepare Sill

1. A pan flashing system (as defined in **ASTM E2112**) is **required** at the sill prior to window/door product installation. Always allow water to drain out of the pan and onto the building wrap, drainage plane or to the exterior.

NOTE: Sill pans for step-down landings will have a folded-down edge in the front to accept the step-down landing.



2. Apply a continuous bead of sealant to the interior of the upturned leg and end dams of the sill pan (if using a rigid sill pan).

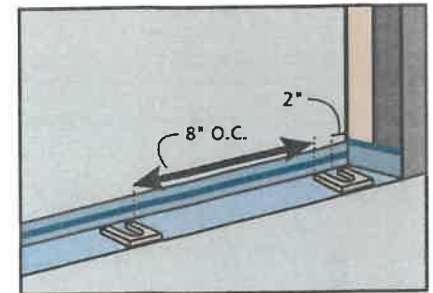


Shim the Sill

See **Product Installation Tolerance Table** for tolerances

1. Unless installing into a sill pan with a positive sloped draining system, shims should be aligned as defined by the label on the wall system or as stated below:

- Shims (1/4" maximum) should be placed near the exterior edge of the sill pan.
- Place one shim 2" from each side of the rough opening (if the rough opening is sized correctly, this should be approximately 1 1/2" - 2" from the corner of the wall system).
- Shims should be no more than 8" on-center.
- There should always be a drainage path to the exterior out of the sill pan.
- Shims can be held in place with sealant.
- Increased shim height may be needed or may interfere with bar/grill alignment of adjacent windows/doors.

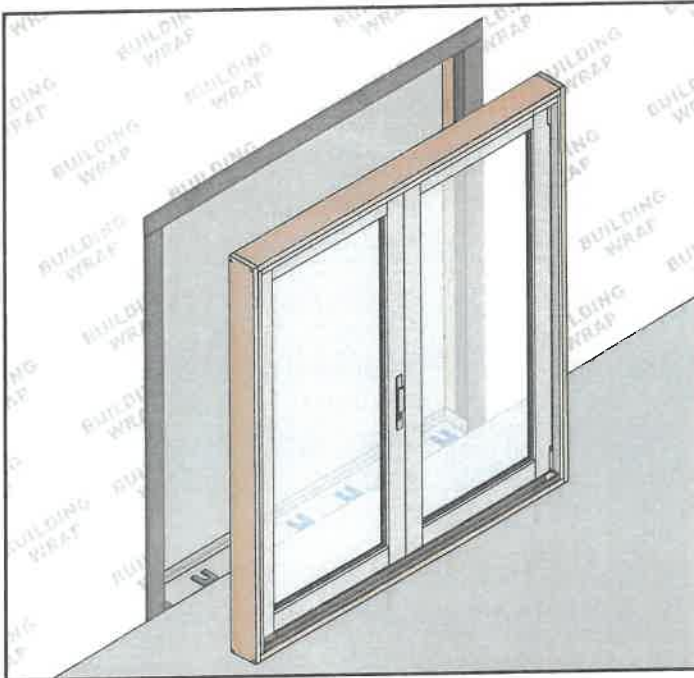


5 TEMPORARY FASTEN AND SHIM

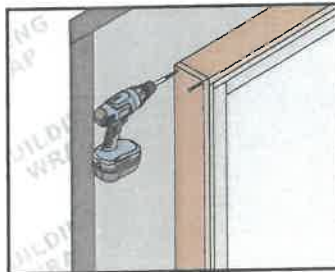
CAUTION

To avoid injury, use at least 3-people to install. The wall system **MUST** be supported at all times!

1. Position the wall system in front of the rough opening. **NOTE:** Frames laid horizontally **must be** fully locked and protected before the support buck is removed.



2. Remove the support buck from around the frame. **NOTE:** Fasteners may have been seated through the frame into the buck. Check the head jamb channel and sill channel for possible buck fasteners.



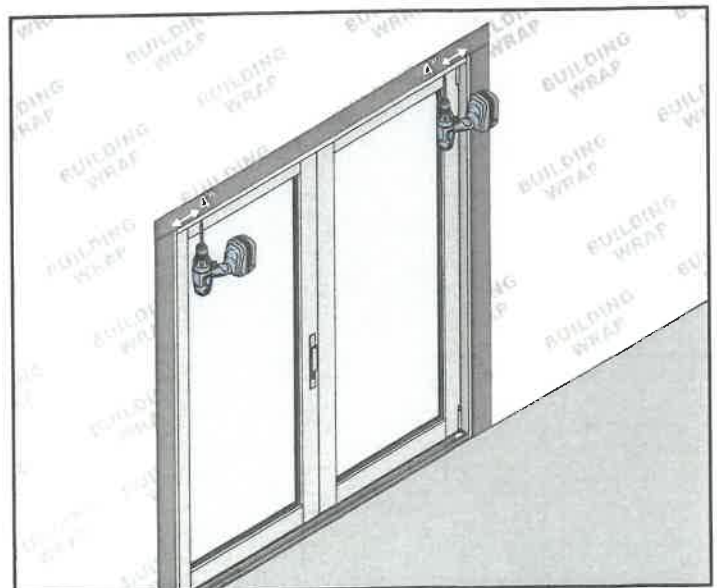
3. Tilt the wall system into the rough opening and support until **fully** fastened.
4. Position the wall system frame so the bottom/sill portion of the wall system is centered within the opening. If using a rigid sill pan, ensure the back of the sill is in contact with the back dam of the sill pan.
5. Double-check the sill is level within the opening.
6. Adjust the top/head portion of the wall system frame from left to right until the frame is square within the opening (reference the **Product Installation Tolerance Table**).

Product Installation Tolerance Table	
Products must be installed in a manner that Does Not exceed the tolerance below	
Plumb	+/- 1/8"
Level	+/- 1/8"
Twist	+/- 1/8"
Square	+/- 1/8"

7. Evaluate the wall system position within the opening for plumb, level, square and twist.
8. Add additional shims as necessary to ensure proper support and alignment of the wall system frame. Larger wall systems may need additional shims. A shim is **required** at each fastening location to prevent frame deflection.



9. Temporarily fasten through the pre-drilled hole in the head jamb 4" from each corner.

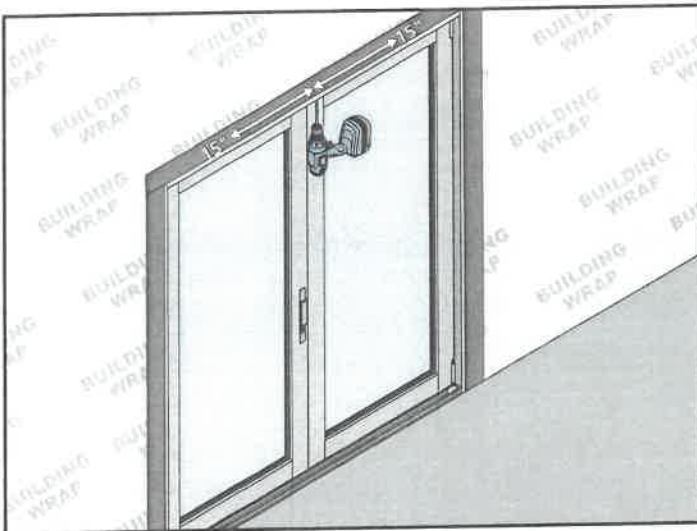
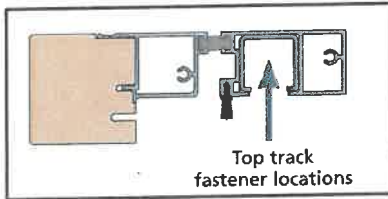


6 FASTEN PRODUCT (SIZE AND SPACING)

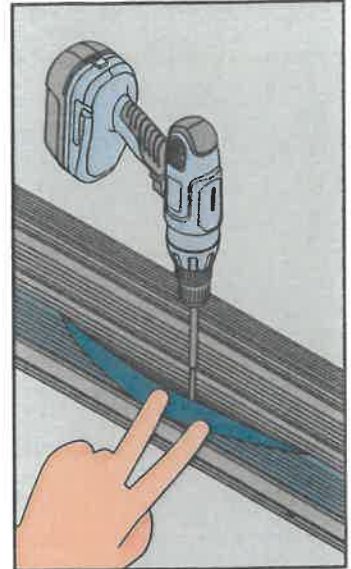
NOTICE

Embedment must be a minimum of 1 1/4" into the structural framing. Fastener (anchor) heads must be flush.

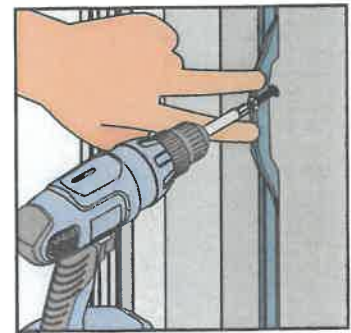
1. Fasten the head jamb through the pre-drilled hole locations using the provided installation fasteners. **NOTE:** A shim is **required** at each fastening location to prevent frame deflection.



2. Apply sealant and fasten the sill through each pre-drilled hole location (located beneath the rubber sill track seal).



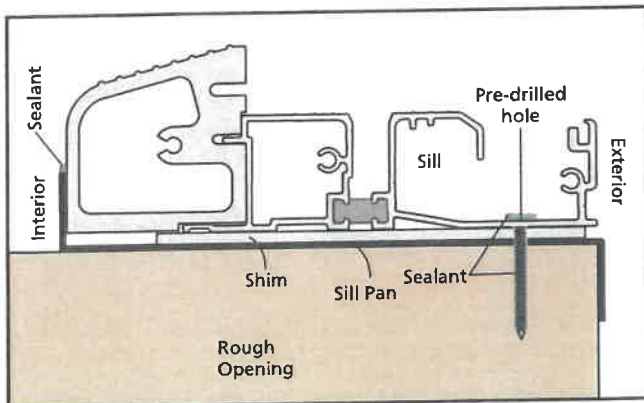
3. Unlock and open the slabs to gain access to the pre-drilled fastener locations behind the side jamb weatherstrip.
4. Fasten the side jamb at the pre-drilled locations. **NOTE: DO NOT** pinch or rip the weatherstrip on the side jambs.



CAUTION

Fasteners through the sill will breach the sill pan flashing. Following the sealant application steps outlined below is imperative.

- Apply sealant to the threads of the fasteners. Apply additional sealant into and around the pre-drilled hole.
- Seat the fastener until the head is flush with the frame.
- Apply sealant to the fastener head, ensuring the head is sealed to the frame.



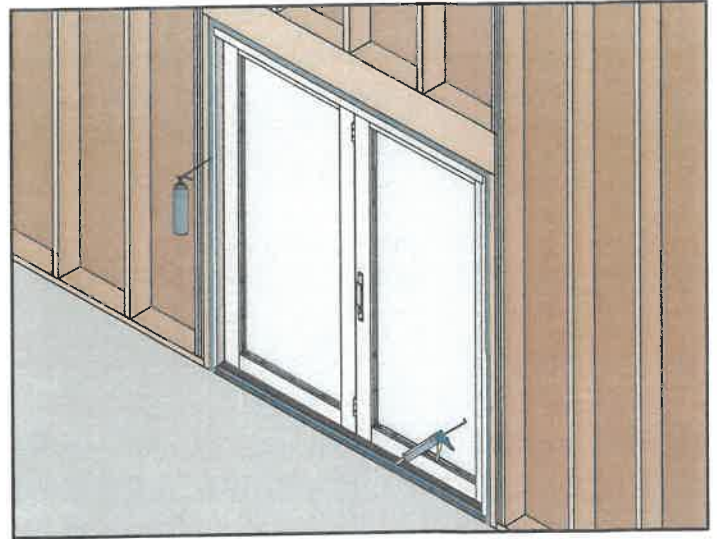
7

CREATE "INTERIOR" AIR SEAL

Continuous "Interior" Air Seal

NOTE: Shims may need to be cut back, so the interior air seal is "continuous" between the wall system frame and the rough opening.

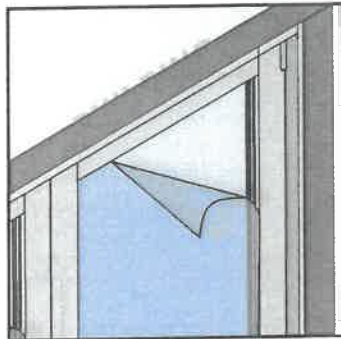
Create a **required** continuous air seal on the interior by integrating the rough opening and the wall system frame with low-expansion polyurethane foam or backer rod and sealant. **NOTE:** If foam is used, 1/2" - 1" depth is prescribed. Backer rod can be used to control the depth.



8

REMOVE PROTECTIVE FILM

If applicable, remove any protective film immediately from all surfaces of the frame/slabs and within six months from any glass.



9

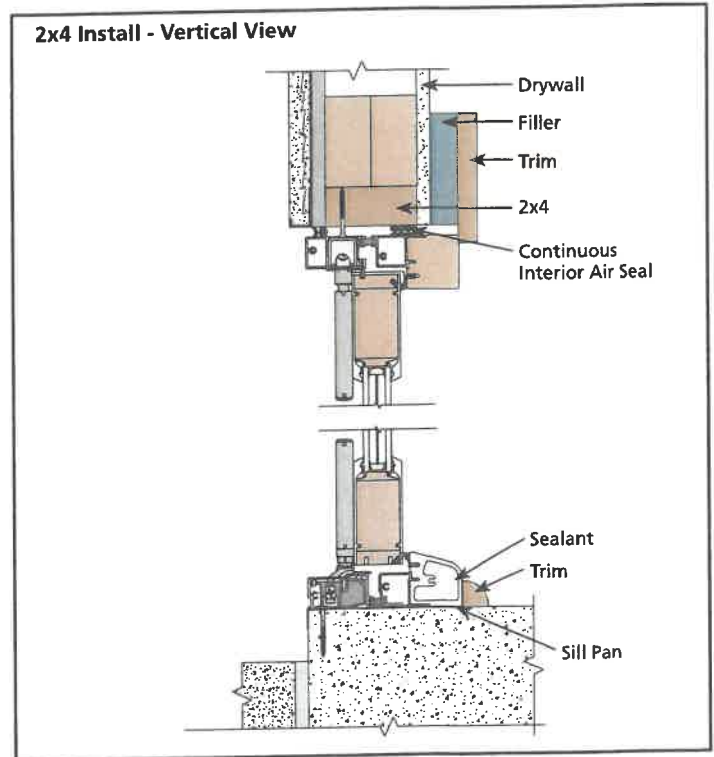
AFTER INSTALLATION

Weatherproofing of the rough opening, along with the flashing and proper integration of the fenestration product with the water-resistive barrier, is the responsibility of the installer. JELD-WEN recommends strict adherence to the current version of ASTM E2112.

- Leave an expansion/contraction gap of approximately 3/8" between the wall system frame and the final exterior wall surface (siding, stucco, etc.).
- Protect recently installed wall systems from damage from plaster, paint, etc.
- Please reference **JMC004, Finishing and Refinishing Instructions for Interior and Exterior Door Slab and Systems** located on our website at jeld-wen.com.
- If installing a retractable screen, please reference **JII-90043, Installation Instructions for F-4500 Retractable Screen System** located on our website at jeld-wen.com.

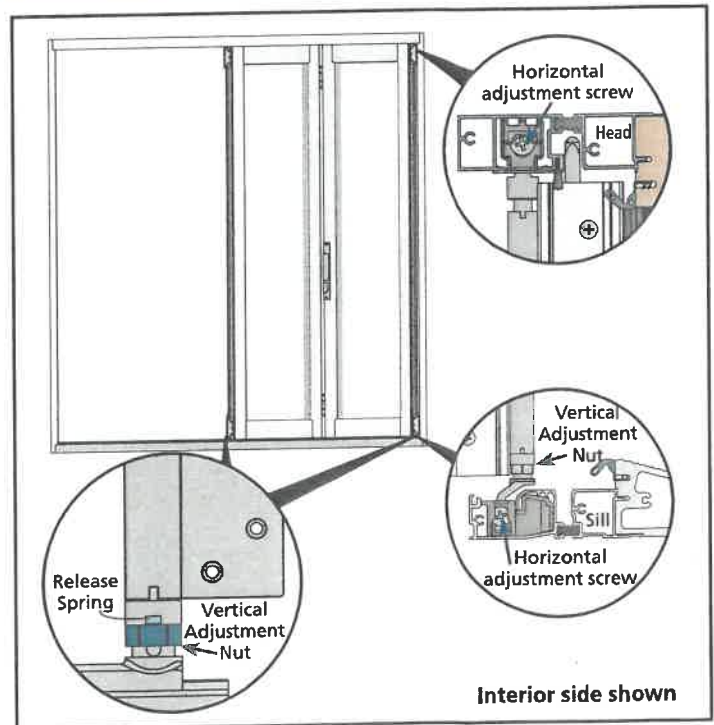
10 INTERIOR TRIM

- Due to the depth of the wall system (5 5/8"), a filler between the drywall and the interior trim will be needed. The width of the filler will depend on the interior wall conditions.



11 FINAL ADJUSTMENTS

- The wall system may need adjusting once installed. Slide the slabs into the closed position and engage the handles to secure the slabs.
- Upper and lower Wall Pivot Hinges adjust horizontally using a #3 Phillips head screwdriver. Clockwise rotations will move the slab away from the jamb; counterclockwise will move the slab toward the jamb. Adjust as necessary to achieve a consistent reveal across the opening.
- Lower Wall Pivot Hinge and Directional Carrier Sets adjust vertically. Insert a flat-head screwdriver into the slot to release the spring and turn the collar with a 14 mm open-ended wrench. One rotation will provide approximately 1/16" adjustment. Rotation to the right will raise the slab and rotation to the left will lower the slab. Adjust as necessary to achieve a consistent reveal across the opening.
- Open and close the wall system to check for alignment and smooth operation.



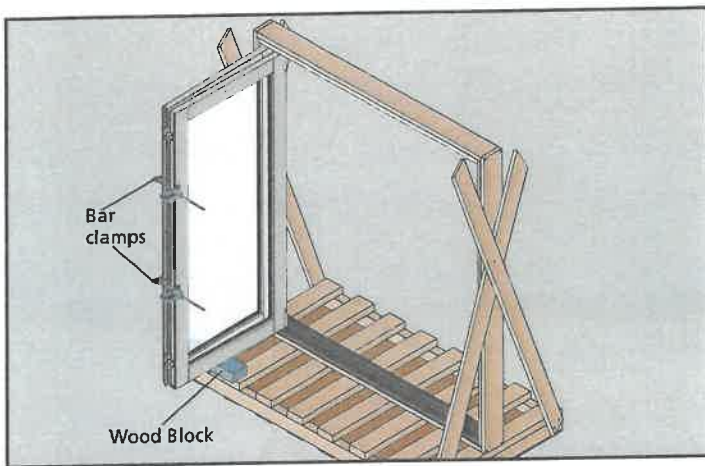
12 SLAB REMOVAL AND INSTALLATION

Slab Removal

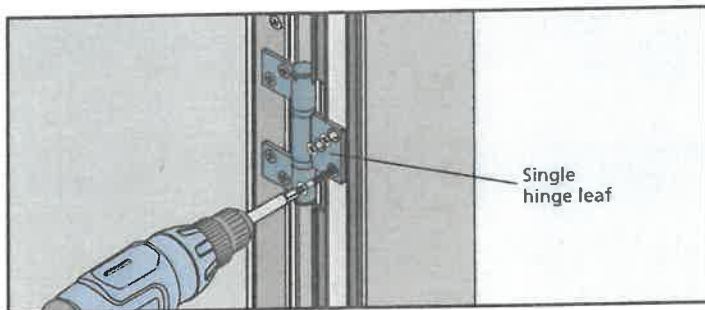
⚠ WARNING

Individual slabs are heavy. To avoid injury, use at least 3-people to remove. The slabs **MUST** be supported at all times.

1. Prior to removing the wall system from the pallet. Unlock and fully open the slabs to gain access to the hinges.
2. Use a putty knife to assist with the removal of the sweep weatherstripping from under each slab.
3. Support the slabs with a wood block spanning the length of both slabs and apply two bar clamps.



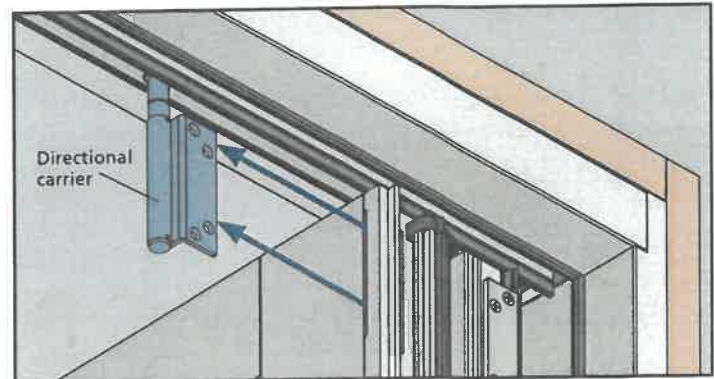
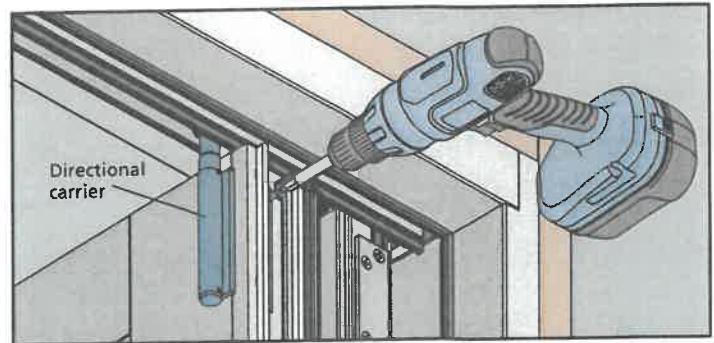
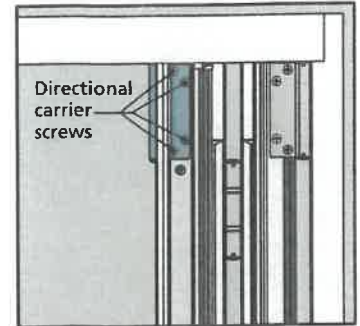
4. Remove the fasteners from the hinge leaf with 3 pre-drilled holes (single hinge leaf) from the top and bottom hinges. **NOTE:** The hinges will remain on the opposite slab.



5. Move to the interior of the wall system and remove the astragal cover to expose the directional carrier fasteners.



6. Remove the directional carrier fasteners and slide the directional carrier out from under the astragal.

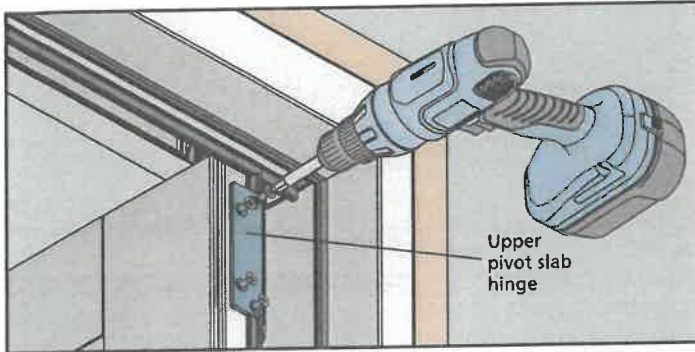


7. Repeat steps for the bottom directional carrier. **NOTE:** A small wooden wedge or pry bar can be used to support the slab during the removal of the lower hinge.
8. Remove the bar clamps and set the slab aside in a safe location.

12

SLAB REMOVAL AND INSTALLATION (CONTINUED)

9. Locate the fastener locations on the upper and lower wall pivot hinges on the opposite slab and remove. **NOTE:** Support the pivot hinge leaf when removing the screws. The hinge leaf and the hinge post are two separate pieces.



10. The slab will now be free from the hinges. Set aside in a safe location.
11. **For 2 + 1 Wall Systems ONLY**, repeat the process to remove the remaining slab.

Slab Installation

1. Follow the slab removal steps in reverse.
2. Tighten all screws till snug – **DO NOT** overtighten.

Please visit jeld-wen.com for warranty and care and maintenance information.

Thank you for choosing

JELD-WEN.

EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 31

<p>1. Property name, present</p> <p>Property name, historic R.W. Pack & Co. Furniture</p> <p>2. Address/location 111-113 N. Main Street Excelsior Springs, MO 64024</p> <p>4. Owner's name and address</p> <p>5. Building of Site Structure Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial</p>	<p>7. Location Map</p>
<p>8. Date of construction (or estimate) ca. 1911</p> <p>9. Changes Altered Addition Moved</p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Elements Vernacular</p> <p>13. Plan Shape Rectangle</p>	<p>14. Number of stories 2</p> <p>15. Roof type and material Flat/not visible</p> <p>16. Type of construction Masonry</p> <p>17. Exterior material(s) Brick</p> <p>18. Foundation material(s)</p> <p>19. Porch(es) n/a</p>
<p>20. Additional physical description</p>	

21. Description of environment and outbuildings This commercial building is located at the southeast corner of N. Main and E. Excelsior streets. Commercial buildings are across the street to the north, and adjoining on the south. The building fills the entire lot to the sidewalk.

22. History and significance Located on the former site of one-story frame grocery, restaurant, dwelling, and a brick dwelling. It was constructed sometime between 1909 and 1911. In 1917 through the 1920's, it housed the R.W. Pack & Co. Furniture store

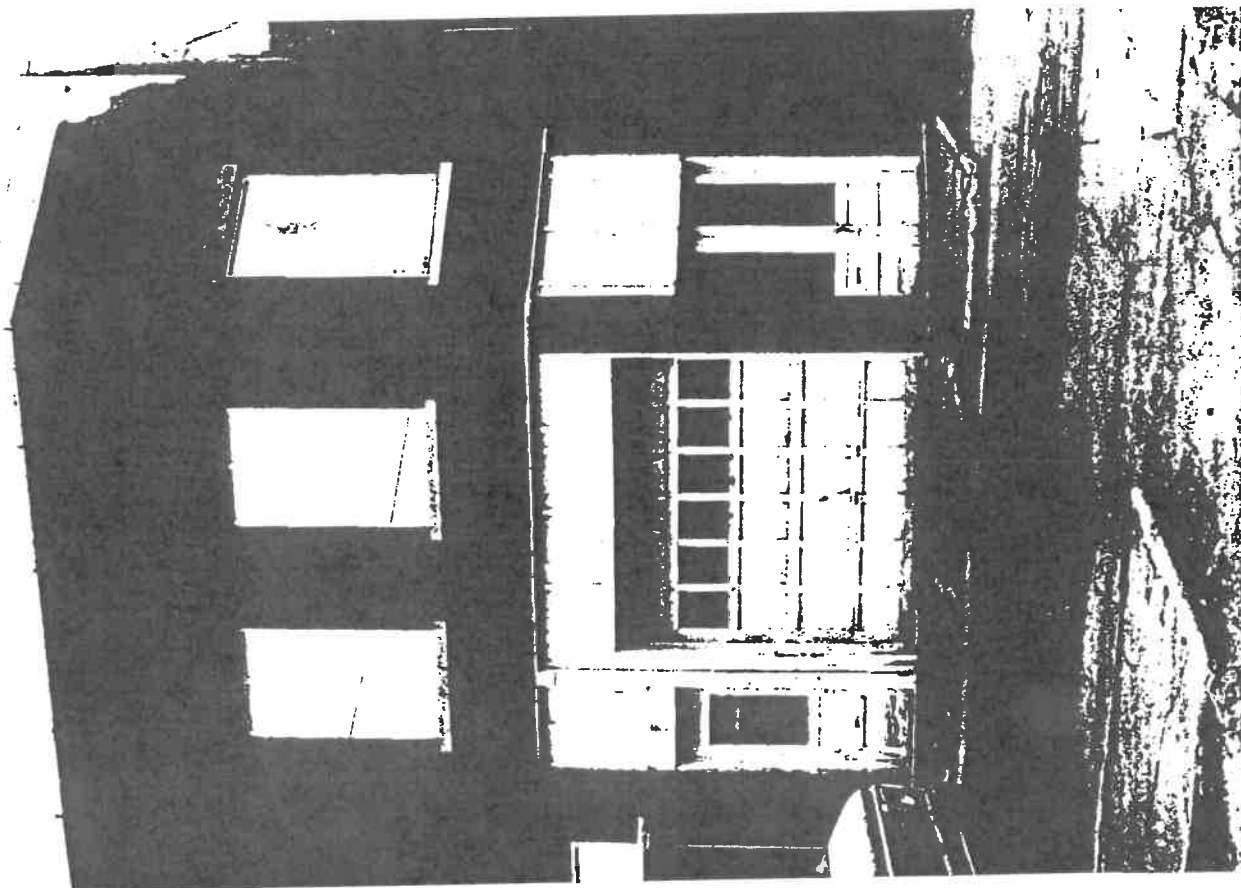
23. Sources of information Sanborn maps; city directories

24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

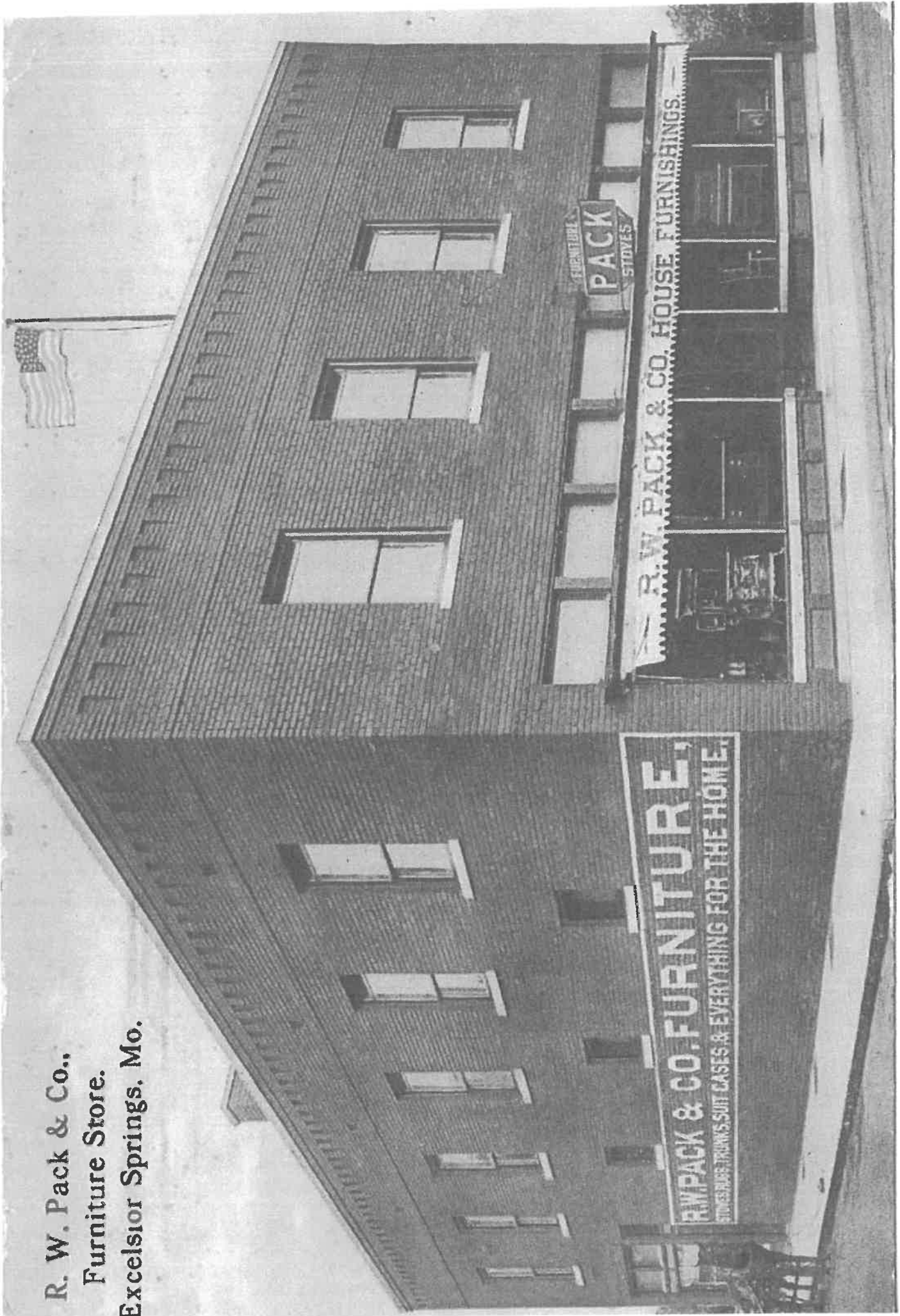
26. On National Register
Eligible for listing
Individual
District
Local designation
Eligible for local designation

27. N





R. W. Pack & Co.,
Furniture Store.
Excelsior Springs, Mo.

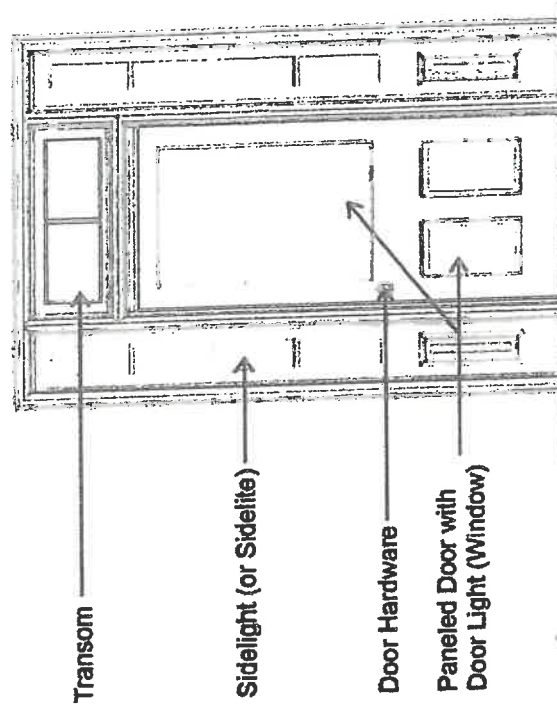


Paint Colors

- 7.35 The color scheme for a building should be historically appropriate and sensitive to the architectural style and age of the building.
- 7.36 A building's color scheme should be coordinated for all of the building elements.
- 7.37 The color scheme should be sensitive and harmonize with the buildings immediately adjacent to the property and the overall architectural styles in the district. All buildings do not need to look the same, but a building's paint colors should be sensitive to the building's neighbors.

Doors and Entries

- 7.38 Original doors, frames, sidelights, and transoms should be maintained and preserved.
- 7.39 Whenever possible, repair a historic door, frame, sidelight, and transom rather than replace it.



Door terminology graphic. (STRATA)

- 7.40 Do not replace an original door unless it is deteriorated beyond repair. Replacement to increase energy efficiency should be avoided.
- 7.41 Altering door openings should be carefully considered and will be reviewed on a case-by-case basis.

7.42 New wood or finished metal doors that replicate the original doors and/or are compatible with the architectural style of the building may be used.

7.43 The use of hollow core interior doors or unpainted or raw aluminum exterior doors are not allowed

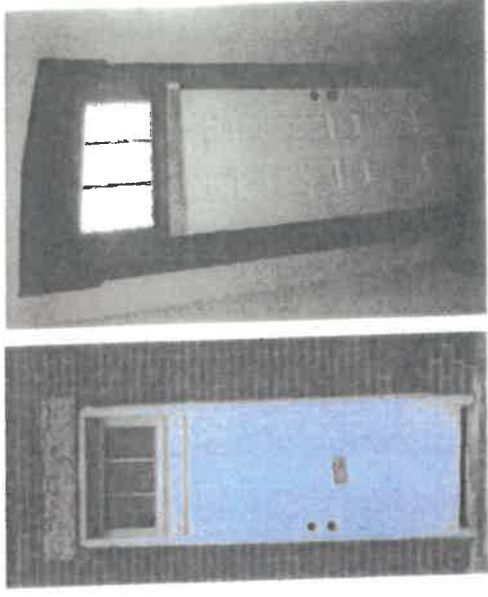
7.44 Raw, unprotected wood doors, frames, and trim are not permitted. Wood doors should be protected with exterior -grade paint, stain, or varnish.

7.45 New doors should maintain the size, shape, placement, and configuration of the original doors. Door height should not be modified. For example, a short door should not replace a tall door.

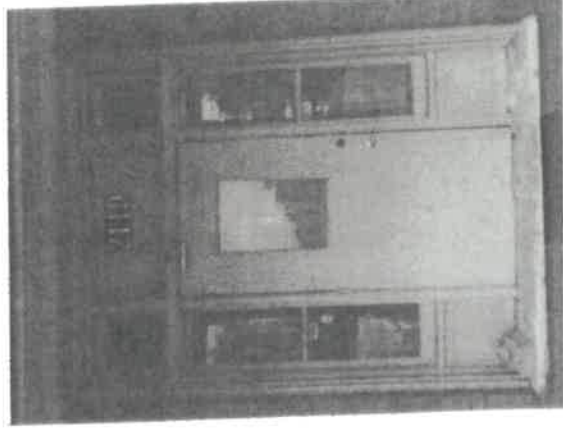
7.46 Do not cover or infill sidelights or transoms.

7.47 Previously covered or infilled sidelights or transoms are encouraged to be restored with new transom that matches the existing transoms on the building or within the historic district.

7.48 Compatible screen/storm doors are allowed if they do not obscure the historic features of the original door. Highly reflective contemporary storm doors are not permitted.



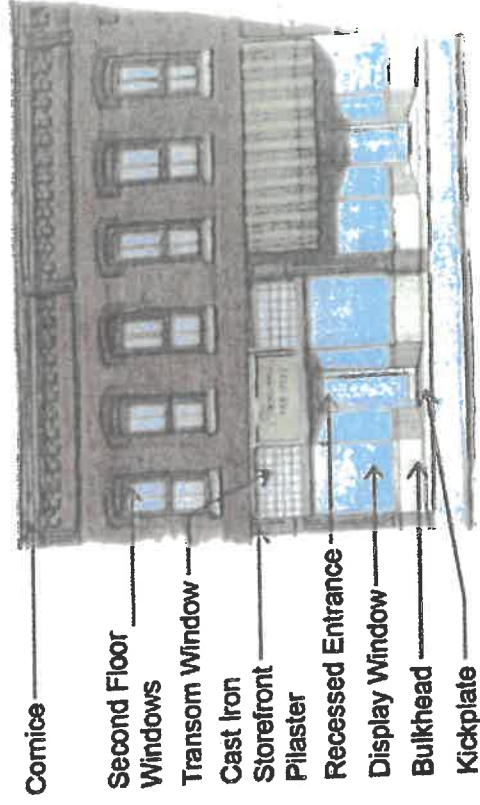
Example of inappropriate door replacement. The replacement door is too short and does not fit into the door opening. (STRATA)



Example of an infilled transom. Infilling a transom is not permitted. (STRATA)

Storefronts

- 7.59 Historic storefronts should be maintained and preserved.
- 7.60 Damaged storefront elements should be repaired. The least destructive repairing and refinishing method should be used.
- 7.61 Storefront elements that are beyond repair should be replaced in-kind.
- 7.62 Replacement storefronts should be compatible with the historic building and historic district. Replacement storefronts should maintain the dimension, pattern, and scale of the original. Replacement storefront should be appropriate for the style and age of the building.
- 7.63 Do not cover or infill any portions of the storefront system.
- 7.64 Previously covered or infilled storefront systems are encouraged to be restored with new transoms that match the existing transoms on the building or within the historic district.
- 7.65 Do not replace a storefront with a system that gives a false historic appearance.
- 7.66 Rough-sawn lumber is not permitted storefront wood trim.



Storefront System Terminology Diagram. (STRATA)



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-030

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-030	Cover Memo	8/9/2024



COMMUNITY DEVELOPMENT
 PLANNING & ZONING
 201 East Broadway
 Excelsior Springs, MO 64024
 Phone: (816) 630-0756

FOR OFFICE USE ONLY
 Fee: \$25.00
 Date Received: 7-1-2024

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-030
 Administrative HPC
 (for office use only)

Date: 6/28/24 Property Address: 217 EAST BROADWAY
 Applicant: CAROL ANN BAXTER Telephone No.: 816-719-5665
 Applicant's Mailing Address: 1201 ANN AVENUE, EXCELSIOR SPRINGS, MO 64024
 Email: BUTTERFLYKISSESBOUTIQUE1@OUTLOOK.COM
 Owner (if different from Applicant):

Historic District: Hall of Waters Elms Boarding House Local Landmark
 • Are Federal or State permits, licensing or monies included in the project Yes No
 • If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

EXTERIOR ALTERATION NEW CONSTRUCTION
 SIGNAGE DEMOLITION
 BUILDING RELOCATION REGRADING/FILL

PAID
 JUL 1 2024
 BY: [Signature]

Carol Ann Baxter
 Applicant Signature

 Reviewed, Planning & Zoning

 Approved, HPC Chairman

 Disapproved, HPC Chairman

 Approved Building Official

 Disapproved Building Official



PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

INSTALLATION OF SIGN FOR BUSINESS MOVING TO THIS ADDRESS

EXCELSIOR SPRINGS HISTORIC RESOURCES

<p>1. Property name, present Mary's Sun and Fun</p> <p>Property name, historic Weien & Logue, Druggists; H.C. Tindall, Drugs <i>215-217 East Broadway Street Building</i></p> <p>2. Address/location 215-217 E. Broadway Excelsior Springs, MO 64024</p> <p>4. Owner's name and address Ed & Sue Berry 2000 W. Jesse James Excelsior Springs, MO 64024</p> <p>5. Building <input checked="" type="checkbox"/> Structure Site <input type="checkbox"/> Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial <i>SEE 122</i></p>	<p>7. Location Map</p>
<p>8. Date of construction (or estimate) ca. 1905</p> <p>9. Changes <i>0000</i> Altered <input type="checkbox"/> Addition <input type="checkbox"/> Moved <input type="checkbox"/></p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Two-part commercial block Elements <input checked="" type="checkbox"/> Victorian Commercial 40 67 Vernacular</p> <p>13. Plan Shape Rectangle <i>RC.</i></p>	<p>14. Number of stories 2</p> <p>15. Roof type and material Flat/not visible <i>FF (1) 22</i></p> <p>16. Type of construction Masonry <i>!!!</i></p> <p>17. Exterior material(s) Brick <i>30</i> <i>other 50 30</i></p> <p>18. Foundation material(s) Limestone <i>42</i></p> <p>19. Porch(es) <i>n/a R I R I</i></p>

20. Additional physical description **This two-part commercial block building is divided into two storefronts on the ground level, but has a unified appearance on the second story. Both storefronts retain much of their original features, including galvanized iron pilasters. The recessed entries are centered in each half, and feature a transom window above. Two display windows flank either side of each door. The bulkhead area has been replaced with brick. Above the display windows and entry are original transom windows. A continuous metal lintel serves as the cornice to the storefront. The second story has nine, one-over-one, double-hung, wood sash windows. These have stone lugsills, and a double row of radiating brick voussoirs, with brick keystones. Above the windows is a decorative cornice band, which includes a denticulated row of brick, a band of raised brick crosses, a projecting cornice with corbelled brick brackets, and a double row of denticulated brick at the top. The west elevation, which faces the grounds of the Hall of Waters, has second story windows identical to those on the front (north) elevation, excepting for a simpler pattern in the arched brick lintels. The roof edge on the west has tile coping.**

21. Description of environment and outbuildings 215-217 E. Broadway is on the western edge of a row of commercial buildings. It is adjacent to the grounds of the Hall of Waters building. Across the street is a vacant lot, which contained the recently demolished Ball Clinic building.

22. History and significance This two-part commercial block building, which contains architectural references to turn of the century Victorian commercial structures, was built between 1900 and 1905. It contained clothing and dry goods stores for many years; later, a drug store was housed here. The upper stories contained boarding rooms--in 1908, The McKenzie was on the second story; in 1922, it was known as the Randall Rooms. 215 E. Broadway contained the Jonathan S. Lewis Dry Goods company in 1908. By 1922, it was owned by J.H. Cowman. In 1940, Weien & Logue, Druggists, operated their business here. 217 E. Broadway contained a clothing store from 1905 through 1909. During the decade of the 1910's and 1920's, however, it was the H.C. Tindall drug store. It has been little altered over the years, and retains an unusual (for Excelsior Springs) degree of integrity in its storefronts. It not only is a good example of a property type, but retains important associations with the variety of commercial enterprises found in Excelsior Springs.

23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book.

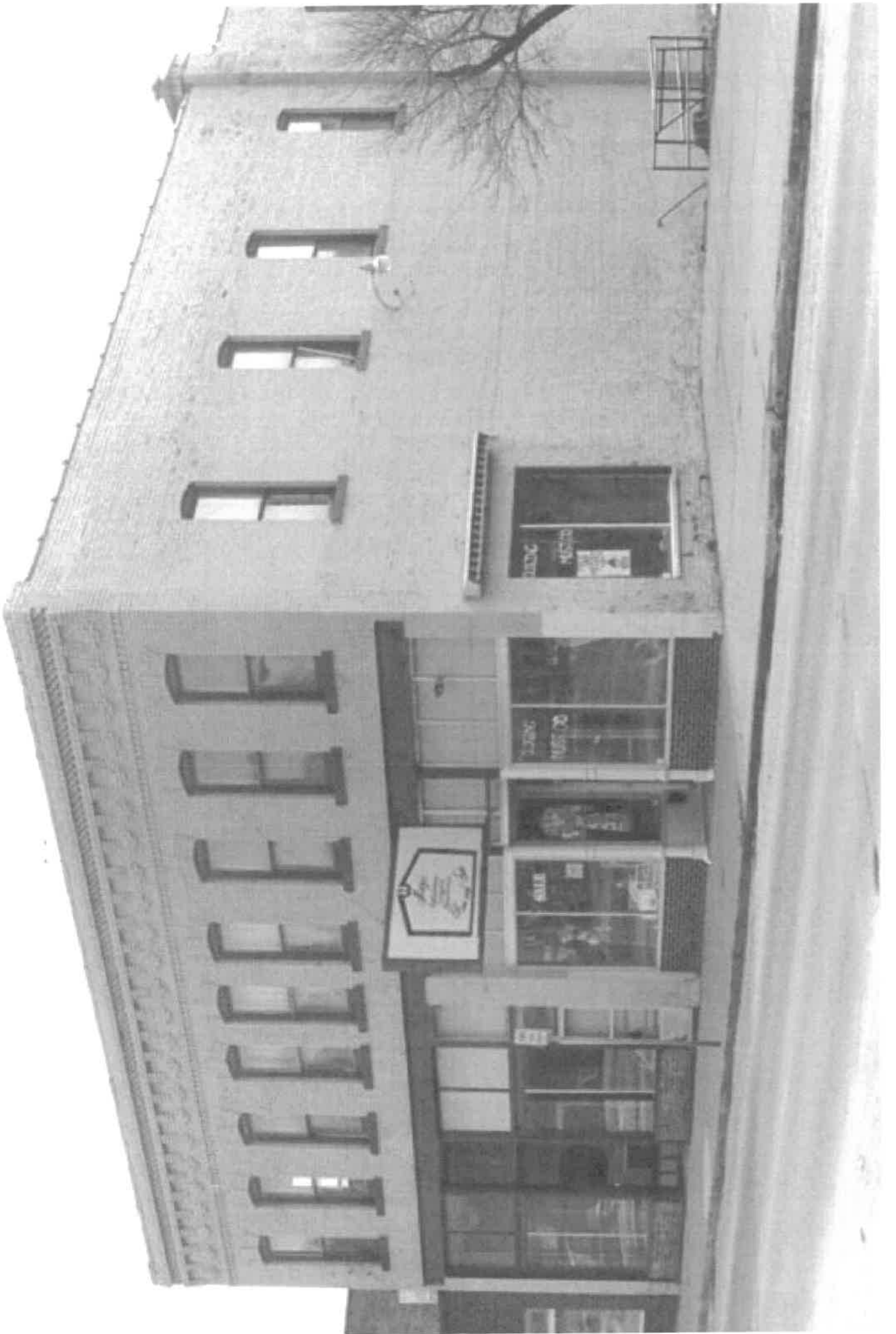
24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

26. On National Register
Eligible for listing
Individual ✓
District ✓
Local designation
Eligible for local designation ✓

27. Negative: roll# A frame# 23







**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-031

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-031	Cover Memo	8/9/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



August 6, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-031 – An application by Kerrie Amos for a Certificate of Appropriateness for placement of new sign located at 215 E. Broadway.

Historic District: Hall of Waters District

Background: This two-part commercial block building is divided into two storefronts on the ground level, but has a unified appearance on the second story. Both storefronts retain much of their original features, including galvanized iron pilasters. The recessed entries are centered in each half, and feature a transom window above. Two windows and entry are original transom windows. A continuous metal lintel serves as a cornice to the storefront.

The applicant proposes to install a new sign on the front façade of the building attaching it above the metal lintel over the storefront door. The sign would adhere to the masonry. The new sign is a projecting, pedestrian-oriented sign which is allowed within the historic preservation guidelines. This new sign, measuring 36" X 24" plus the mounting infrastructure for installation on the building.

Staff Review: The Historic Preservation Design Guidelines recommend that new signage be fitting in terms of size, scale, and color to the architectural integrity of historic structures. The style of the proposed sign aligns with the stipulations outlined in the Historic Preservation Design Guidelines, indicating its permissibility within this context.

Staff Recommendation/Action Requested: City staff finds the application to be consistent with the Excelsior Springs Historic Preservation Guidelines and City Code regarding signs in a "C-2"-Service Business District.

Staff recommends approval of the COA application.

Respectfully Submitted,
Melinda Mehaffy
Economic Development Director

Attachments:

- Exhibit A- COA Application
- Exhibit B- Excelsior Springs Historical Survey
- Exhibit C- Historic Preservation Design Guidelines for Signage (pg 111)

PP



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 7-3-2024

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-031
Administrative HPC
(for office use only)

Date: 7/2/2024 Property Address: 215 East Broadway Ave.
Applicant: Kerrie Amos Telephone No.: 816-547-4765
Applicant's Mailing Address: 717 St. Louis Ave. Excelsior Springs, MO 64024
Email: Vestahh414@gmail.com
Owner (if different from Applicant): Jeff Algje

Historic District: Hall of Waters Elms BoardingHouse Local Landmark
• Are Federal or State permits, licensing or monies included in the project Yes No
• If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

X EXTERIOR ALTERATION NEW CONSTRUCTION
X SIGNAGE DEMOLITION
BUILDING RELOCATION REGRADING/FILL

Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

Vesta

Hearth & Home

New & Vintage Finds



PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

Currently there is a damaged sign frame attached to the building, which we are requesting to be removed. It is my understanding and the understanding of the owner, that the sign is of no historical significance.

I am requesting a new business sign to be attached in the same general area as the current sign. The sign that I am currently requesting bids on will have the business name of Vesta Hearth & Home as shown above in the first picture along with the logo image as shown. The second picture illustrates the shape of the sign and the type of hanging mount that I am requesting. This will be a double sided metal sign with the name and logo in black on a white background. Dimensions will be 3 feet in length and 2 feet in height.





215

EXCELSIOR SPRINGS HISTORIC RESOURCES

<p>1. Property name, present Mary's Sun and Fun</p> <p>Property name, historic Weien & Logue, Druggists; H.C. Tindall, Drugs <i>215-217 East Broadway Street Building</i></p> <p>2. Address/location 215-217 E. Broadway Excelsior Springs, MO 64024</p> <p>4. Owner's name and address Ed & Sue Berry 2000 W. Jesse James Excelsior Springs, MO 64024</p> <p>5. Building <input checked="" type="checkbox"/> Structure Site <input type="checkbox"/> Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial <i>USE 120</i></p>	<p>7. Location Map</p>
<p>8. Date of construction (or estimate) ca. 1905</p> <p>9. Changes <i>0000</i> Altered <input type="checkbox"/> Addition <input type="checkbox"/> Moved <input type="checkbox"/></p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Two-part commercial block Elements <input checked="" type="checkbox"/> Victorian Commercial 40 67 Vernacular</p> <p>13. Plan Shape Rectangle <i>RC</i></p>	<p>14. Number of stories 2</p> <p>15. Roof type and material Flat/not visible <i>FL 1-22</i></p> <p>16. Type of construction Masonry <i>!!!</i></p> <p>17. Exterior material(s) Brick <i>30</i> <i>other 50 30</i></p> <p>18. Foundation material(s) Limestone <i>43</i></p> <p>19. Porch(es) <i>n/a R 1 R 1</i></p>

20. Additional physical description This two-part commercial block building is divided into two storefronts on the ground level, but has a unified appearance on the second story. Both storefronts retain much of their original features, including galvanized iron pilasters. The recessed entries are centered in each half, and feature a transom window above. Two display windows flank either side of each door. The bulkhead area has been replaced with brick. Above the display windows and entry are original transom windows. A continuous metal lintel serves as the cornice to the storefront. The second story has nine, one-over-one, double-hung, wood sash windows. These have stone lugsills, and a double row of radiating brick voussoirs, with brick keystones. Above the windows is a decorative cornice band, which includes a denticulated row of brick, a band of raised brick crosses, a projecting cornice with corbelled brick brackets, and a double row of denticulated brick at the top. The west elevation, which faces the grounds of the Hall of Waters, has second story windows identical to those on the front (north) elevation, excepting for a simpler pattern in the arched brick lintels. The roof edge on the west has tile coping.

21. Description of environment and outbuildings 215-217 E. Broadway is on the western edge of a row of commercial buildings. It is adjacent to the grounds of the Hall of Waters building. Across the street is a vacant lot, which contained the recently demolished Ball Clinic building.

22. History and significance This two-part commercial block building, which contains architectural references to turn of the century Victorian commercial structures, was built between 1900 and 1905. It contained clothing and dry goods stores for many years; later, a drug store was housed here. The upper stories contained boarding rooms--in 1908, The McKenzie was on the second story; in 1922, it was known as the Randall Rooms. 215 E. Broadway contained the Jonathan S. Lewis Dry Goods company in 1908. By 1922, it was owned by J.H. Cowman. In 1940, Weien & Logue, Druggists, operated their business here. 217 E. Broadway contained a clothing store from 1905 through 1909. During the decade of the 1910's and 1920's, however, it was the H.C. Tindall drug store. It has been little altered over the years, and retains an unusual (for Excelsior Springs) degree of integrity in its storefronts. It not only is a good example of a property type, but retains important associations with the variety of commercial enterprises found in Excelsior Springs.

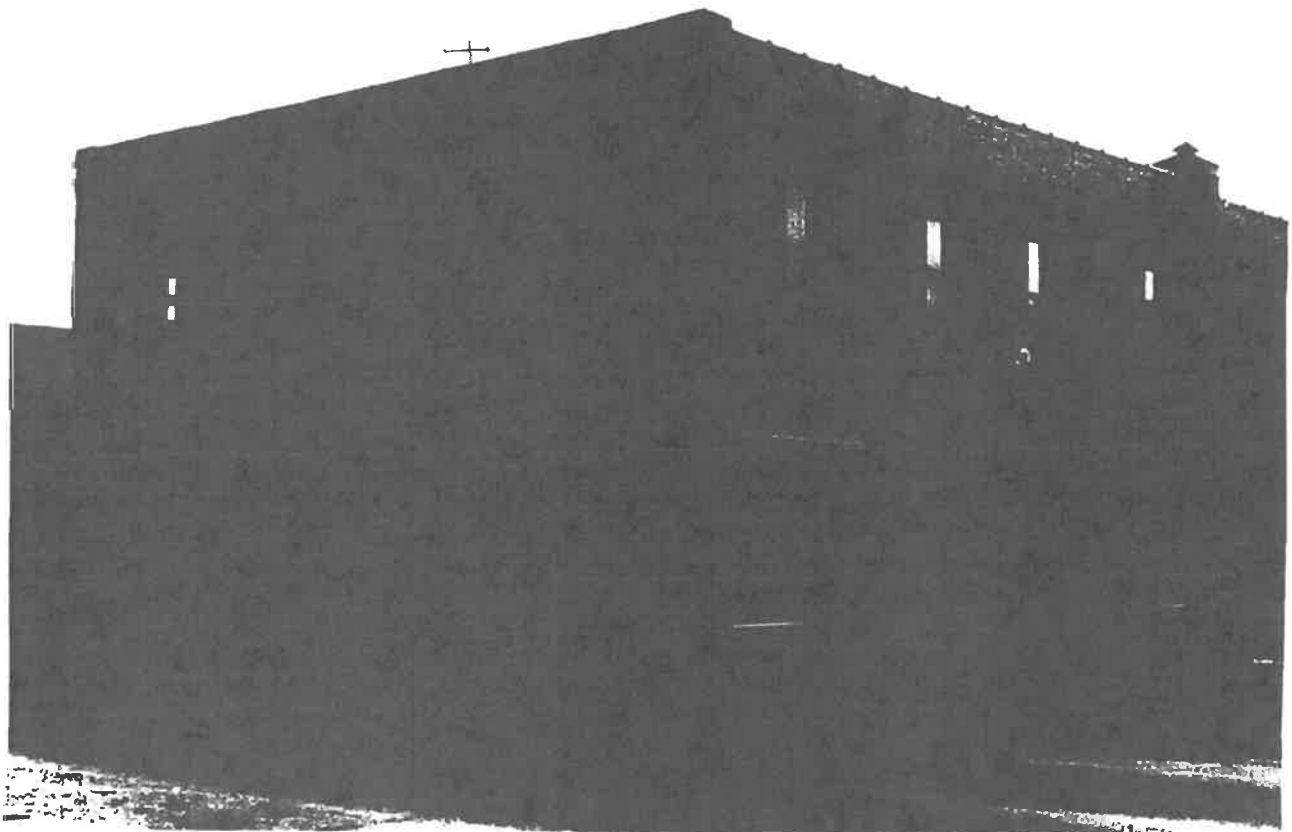
23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book.

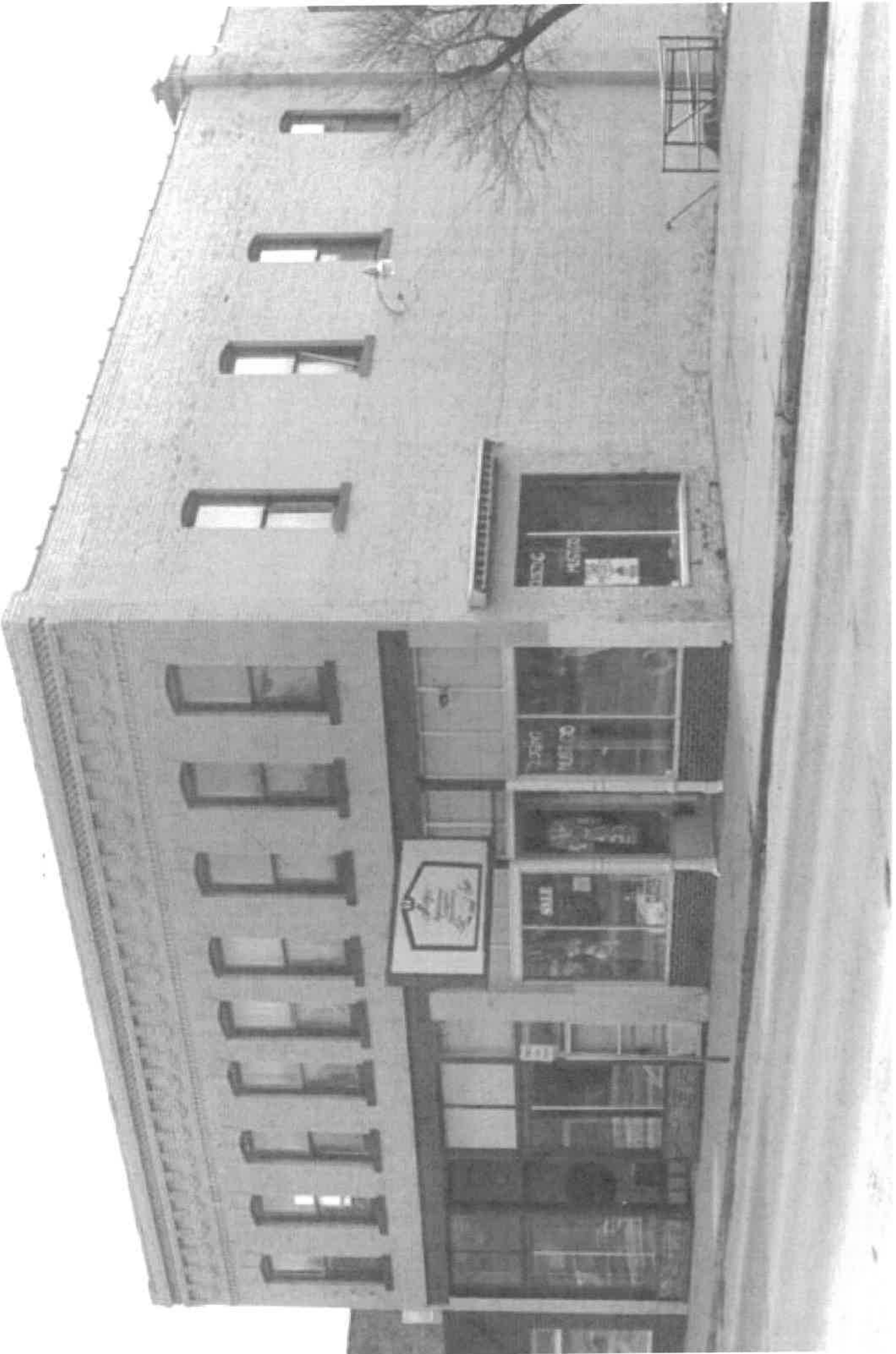
24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

26. On National Register
Eligible for listing
Individual ✓
District ✓
Local designation
Eligible for local designation ✓

27. Negative: roll# A frame# 23





Guidelines for the Treatment of Historic Properties

General

- 7.1 All efforts should be taken to maintain and preserve all historic properties, including original outbuildings.
- 7.2 Historic site features, such as walkways, fences, stone retaining walls, historic landscaping, and mineral water resources, should be maintained and preserved.

Foundations

- 7.3 Repair or replacement foundations should be made using materials that will replicate the original to the greatest extent possible.
- 7.4 Concrete foundations are permitted to be painted.

Roofs

- 7.5 Original roof forms (slope, shape, orientation, and overhanging and detailing of eaves) should be preserved.
- 7.6 Original parapets and parapet caps should be preserved.

- 7.7 Use appropriate roofing materials when re-roofing. Replacement roof materials should match the color, size, texture, and look of the original roofing materials. Synthetic or substitute materials will be reviewed on a case-by-case basis to ensure the synthetic materials matches the original. Detailing of roofing terminations should be per the manufacturer's recommendation and should be historically appropriate for the building type. New synthetic or substitute materials should not be installed over the existing roofing material.
- 7.8 Original gutters and downspouts should be preserved. If replacement is required, they should be replaced in-kind, matching the original dimensions, shape, and details.
- 7.9 New gutters and downspouts should be of a compatible style of the architectural style of the historic building.
- 7.10 Existing chimneys should be maintained and preserved.
 - a. If a chimney is no longer in use, consider installing a non-visible cap to prevent water infiltration and heat loss.
- 7.11 Existing dormers should be maintained and preserved.



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-032

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-032	Cover Memo	8/13/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



August 14, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-032 – An application by T.D. Sylla LLC for a Certificate of Appropriateness for a signage and landscaping at 415 Saint Louis Ave.

Historic District: Elms District

Background: There is no historic property survey for 415 St. Louis Avenue. The property began as a gas station, according to a new article and in 1967, Orville and Evelyn Cowser leased the building to the Miller Family who transitioned the property into a restaurant. The city has plans which show in March 1985 the addition on the east side of the building was added.

Staff Review: The applicant is currently renovating the site and has previously been approved for a number of items including new roof, trash enclosure, fencing, paint, window repair/replacement and awnings.

The applicant made a request for action on the parking lot however it was determined to be maintenance and does not need approval from the Commission. The parking lot is being reconfigured to meet the minimum parking standards. This has left room for new outdoor seating and landscaping that the applicant is requesting approval.

1. **Fountain:** The applicant is requesting approval on an exterior fountain that would sit in front of the building. The fountain is a three-tier fountain similar to others that have been placed in the historic districts.
2. **Landscaping:** The applicant would like to heavily landscape the front of the building compared to what has been at the site the past. This would include greenery that includes small trees, bushes, fountain grass and daylilies. Please refer to the attached landscaping plan.
3. **Fencing:** An exterior black metal fencing would surround the proposed outdoor seating area. The fencing will have the appropriate opening sizes and would not impede line of sight from the corner of St. Louis Ave and S. Kansas City Ave. The applicant is proposing approximately nine outdoor seating tables that would allow seating outside for meals.
4. **Signage:** The applicant has proposed a metal sign on the front side and east side of the building similar to the Casa Di Vite sign at 216 Springs. This sign would measure approximately 36" X 48". At a later time a larger sign may be requested on the west side of the building.

Staff Recommendation/Action Requested: City staff finds the application meets the Historic Preservation Guidelines with signage located on the front of the building. Flush-mounted walls signs are an approvable sign within the district.

Respectfully Submitted,

Melinda Mehaffy
City of Excelsior Springs

Attachments:

Exhibit A- COA Application

Exhibit B- Photographs of the proposed Fountain, Landscaping, Fence and Signage

Exhibit C- Excelsior Springs Historical Survey

Exhibit D- Historical Preservation Design Guidelines for Landscaping pg.108, Fences pg.109
and Signage pg.111



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 7-23-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-032
Administrative HPC
(for office use only)

Date: 7-23-24 Property Address: 415 St. Louis Ave.
Applicant: Mrs Mrs Chuck Duckworth Telephone No.: 816-716-1272
Applicant's Mailing Address: 624 Patrick Dr. Excelsior Spring, 64024
Email: chuck.duckworth@gmail.com
Owner (if different from Applicant):

Historic District: Hall of Waters Elms Boarding House Local Landmark
• Are Federal or State permits, licensing or monies included in the project Yes No
• If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

EXTERIOR ALTERATION NEW CONSTRUCTION
 SIGNAGE DEMOLITION
 BUILDING RELOCATION REGRADING/FILL

Sanja Duckworth
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

Please see attached photos

AFFIX PROJECT RELATED
PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

- 1) Exterior fountain - See attached photo
- 2) Exterior Landscaping and railing around outdoor seating.
- 3) Signage - Option 1 to be place on present metal building if possible - see photo
- metal sign (like Casa di vite) on front of building
- 2) Exterior railing will be black metal and not fence as shown in picture. Landscaping will also be as such to not impede vision on corner - See Attached Photo -



1)



metal
Fence

no plants concrete



will not be
placing these
trees



Web Copy
WARRANTY DEED
(Missouri Form for Individuals)

Form 500 Kansas City Title Div. CTI Co.

BOOK 1080
PAGE 837

This Deed Witnesseth, That we, Curtis C. Martin and Irma H. Martin,
husband and wife

Grantors, for and in consideration of the sum of Ten and no/100 - - --Dollars

do by these presents, GRANT, BARGAIN AND SELL, Convey and Confirm unto Orville B. Cowsert
and Evelyn M. Cowsert, husband and wife

whose mailing address is: RR 1, W. Seybold Rd., Excelsior Springs, Missouri 64024
Grantees, their heirs and assigns the following land situate in Clay
County, Missouri, to-wit:

An undivided one-half interest in Lots 5, 6, 7, 8 and 9, in Block
"A", Elms Addition to Excelsior Springs, Clay County, Missouri
according to the recorded plat thereof, subject to restrictions
and easements, if any, now of record, and any condition which an
accurate and complete survey would disclose.

TO HAVE AND TO HOLD The premises aforesaid with all and singular, the rights, privileges,
appurtenances and immunities thereto belonging or in anywise appertaining unto said Grantee^s and
unto their heirs and assigns forever; said Grantors hereby covenanting that they are
lawfully seized of an indefeasible estate in fee of the premises herein conveyed; that they have good
right to convey the same; that the said premises are free and clear from any incumbrance done or suffered
by them or those under whom they claim, and that they will warrant and defend the title to
said premises unto said Grantees and unto their heirs and assigns forever, against the law-
ful claims and demands of all persons whomsoever.

WITNESS THE HAND of said Grantor this 19th day of January 1972
Curtis C. Martin *Irma H. Martin*

In the State of MO, County of CLAY, on this 19th day of January 1972
before me, the undersigned, a Notary Public in and for said County and State, personally appeared

Curtis C. Martin and Irma H. Martin
the above

to me known to be the person *S* described in and who executed
the foregoing instrument, and acknowledged that
executed the same as *their* free act and deed, and the said

further declared to be married.

STATE OF MISSOURI
COUNTY OF CLAY
FILED FOR RECORD
Jan 26 9 24 AM '72
WILLIAM L. CLORIDGE
RECORDER OF DEEDS

BY *Sandra Brock*
Secretary

Witness my hand and Notarial Seal subscribed and affixed
in said County and State, the day and year in this certificate
above written
H. J. Griffey
Notary Public
My Term Expires 5-12-72
H. J. Griffey

Sandra Brock, Recorder of Deeds

Web Copy

Recorded in Clay County, Missouri

Recording Date/Time: 11/16/2023 at 11:41:42 AM

Book: 9656 Page: 107

Instr #: 2023027779

Pages: 2

Fee: \$27.00

Electronically Recorded
Thomson-Affinity Title, LLC



Sandra Brock
Recorder of Deeds

MISSOURI WARRANTY DEED

THIS INDENTURE, Made on November 14, 2023 by and between

Grantor: Evelyn M Cowsert Trust made dated April 13, 2001

AND

Grantee: TD SYLLA LLC

(Grantee's mailing address: P.O. BOX 572, Excelsior Springs, MO 64024)

WITNESSETH: THAT THE SAID GRANTOR(S), in consideration of the sum of **TEN DOLLARS AND OTHER VALUABLE CONSIDERATIONS** to be paid by said Grantee(s) (the receipt of which is hereby acknowledged), do by these presents, **GRANT, BARGAIN AND SELL, CONVEY AND CONFIRM** unto said Grantee(s) and unto the heirs, successors and assigns of Grantee(s), the following described lots, tracts or parcels of land lying, being and situate in the County of Clay and State of Missouri, to-wit:

Tract 1:

All of Lots 5, 6, 7, 8, 9, 10 and 11, in Block "A", ELMS ADDITION to the City of Excelsior Springs, Clay County, Missouri, according to the recorded plat thereof.

Tract 2:

All of Lots 12 and 13 and the North 4 feet of Lot 14, Block A, ELMS ADDITION, a subdivision in the City of Excelsior Springs, Clay County, Missouri, according to the recorded plat thereof.

The Grantor herein states that this deed is given pursuant to the powers conferred by the Trust Agreement and that said Agreement remains in full force and effect at this time and has not been amended, revoked or terminated.

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, IF ANY, NOW OF RECORD.

Web Copy

TO HAVE AND TO HOLD The premises aforesaid with all and singular, the rights, privileges, appurtenances and immunities thereto belonging or in any wise appertaining unto said Grantee(s) and unto the heirs, successors and assigns of Grantee(s) forever; said Grantor(s) hereby covenanting that he/she/they is/are lawfully seized of an indefeasible estate in fee of the premises herein conveyed; that he/she/they has/have good right to convey the same; that the said premises are free and clear from any encumbrance done or suffered by him/her/them or those under whom he/she/they claim(s); and that he/she/they will warrant and defend the title to the said premises unto said Grantee(s) and unto the heirs, successors and assigns of Grantee(s) forever, against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, The said Grantor(s) has/have signed as of the day and year above written.

Evelyn M Cowsert Trust made dated April 13, 2001

Evelyn M. Cowsert Trustee
By: Evelyn M Cowsert, Trustee

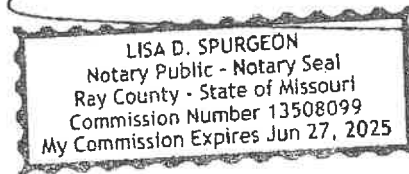
STATE OF Mo)
COUNTY OF Clay)ss

On November 14, 2023, before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Evelyn M Cowsert, Trustee of the Evelyn M Cowsert Trust made dated April 13, 2001, to me known to be the persons described in and who executed the foregoing instrument and acknowledged to me that Evelyn M Cowsert, Trustee of the Evelyn M Cowsert Trust made dated April 13, 2001, executed the same for the purposes therein stated.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed by official seal in the County and State aforesaid, the day and year first above written.

My Commission Expires: _____

Notary Public



Sandra Brock, Recorder of Deeds

Sidewalks

Sidewalks along the edge of residential properties are the responsibility of the homeowner to maintain and replace if they become damaged due to weather, freeze-thaw, tree roots, etc. When it becomes time to replace the sidewalks, sidewalks need to be installed per the City's sidewalk ordinance and guidelines. Contact the Public Works Department for sidewalk information and guidance.

Landscaping Features

10.17 Landscaping

- a. Do not introduce landscape plantings that do not correspond with other landscaping in the district or that do not follow setbacks and alignments of the block or historic district.
- b. Non-indigenous plantings are discouraged.
- c. Invasive species of plants are prohibited.
- d. Do not use tall shrubs or other plantings that close off, obstruct, or block views of the front of the property.
- e. Do not let plantings or weeds to grow "wild" or out of control.
- f. Vacant lots should be landscaped to soften the appearance of the open lot.



Example of overgrown plantings. This is not allowed.
(Strategies Online)



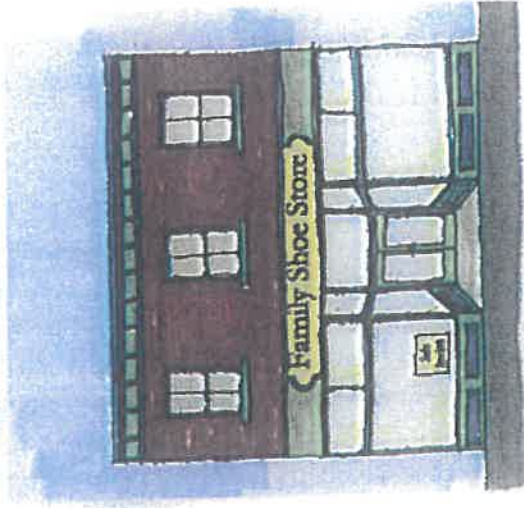
Example of a fence and plants that obstruct the view of the front of the house. This is not allowed. (Pinterest)

10.18 Fences

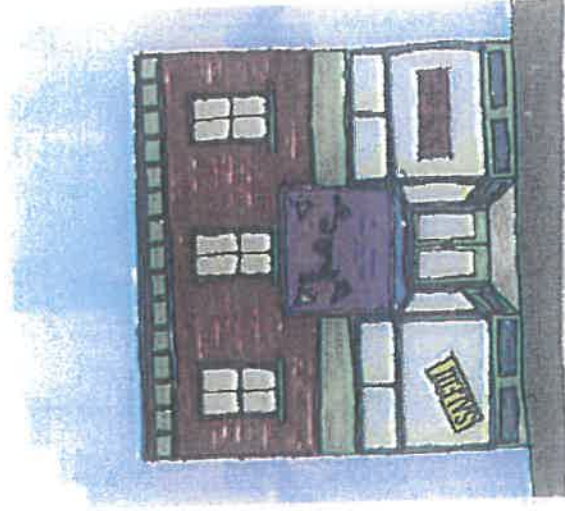
- a. Existing fences that contribute to the historic character of the property should be retained and preserved.
- b. When reconstructing a historic fence, the new construction should be based on an existing fence and historic documentation of the original that identifies the defining features, including materials, height, scale, configuration, ornamentation, and detail.
- c. Tall fences that close off, obstruct, or block views of the front of the primary elevation and property are not allowed.
- d. Ornamental fences should be 2-1/2 feet tall or less, so as to not distract from the architectural elements of the building.
- e. Privacy fences may be considered for back yards when it is considered necessary to screen an objectionable view.
- f. Wood Fences
 - i. New wood fences should complement the style of the existing building.
 - ii. Wood fences should be painted or stained an opaque finish.
 - iii. Wood fences with a modern pattern, such as basketweave, stockage, split rail, and board-on-board are not allowed.
- g. Metal (Steel, Aluminum, or Iron) Fences
 - i. It is recommended to use a simple pattern if a historical precedent cannot be established.
 - ii. Metal chain link fences are not allowed.
- h. Synthetic Fencing Materials
 - i. Some modern composite or synthetic fencing materials are difficult to distinguish from wood and may be allowed on a case-by-case basis.
 - ii. Vinyl fences will not be permitted.
- i. Ornamental Shrubs may also be used as a fence when planted in tight rows. Shrubs must be pruned correctly and kept neat in order to clearly define the building's property line.

Signage

- 10.20 New signs should be appropriate in size, scale, and color to the historic buildings.
- 10.21 Signs should be scaled to pedestrians rather than automobiles.
- 10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.
- 10.23 The color and materials of the signage should coordinate with the historic district.
- 10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.
- 10.25 Permitted Sign Types
- Flush-mounted wall signs
 - Window Signs
 - Projecting Signs
- 10.26 Non-Permitted Sign Types
- Roof-mounted signs
 - Poorly made or temporary signs
- 10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: COA: HPC-24-033

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-033	Cover Memo	8/9/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



August 6, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-033 – An application by Nicole Russell for a Certificate of Appropriateness for placement of new sign located at 461 S Thompson Ave.

Historic District: Hall of Waters District

Background: This long, one-story building is a multiple entry with display windows commercial building. There are seven storefronts with recessed entries. The entry doors are flanked by large display windows with brick bulkheads. The transom areas on this portion of the building have been boarded over and previous tenants have used this space for business signage.

The applicant proposes to install a new sign on the front façade of the building replacing the existing Copperhead signage. The new sign is a flush-mounted wall sign which is allowed within the historic preservation guidelines. This new sign, measuring five feet and nine-and-one-half inches tall says “Head2toe Boutique” and is a lighted sign in blue and pink. The secondary sign which is located directly below this larger sign measures 26 ¾ inches long and is 3 ¼ inches tall and reads “@Booksy.com”. This sign is placed in the same area as the previous Copperhead signage.

Staff Review: The Historic Preservation Design Guidelines recommend that new signage be fitting in terms of size, scale, and color to the architectural integrity of historic structures. Color and materials of the signage should coordinate with the historic district. The Hall of Waters District does have neon signage located within the district and earlier this year the HPC recommended approval of pink neon signage age 101 Spring Street. The style of the proposed sign aligns with the stipulations outlined in the Historic Preservation Design Guidelines, indicating its permissibility within this context.

Staff Recommendation/Action Requested: City staff finds the application to be consistent with the Excelsior Springs Historic Preservation Guidelines and City Code regarding signs in a “C-2”-Service Business District.

Staff recommends approval of the COA application.

Respectfully Submitted,
Melinda Mehaffy
Economic Development Director

Attachments:

- Exhibit A- COA Application
- Exhibit B- Excelsior Springs Historical Survey
- Exhibit C- Historical Preservation Design Guidelines for Signage (pg. 111)



COMMUNITY DEVELOPMENT
 PLANNING & ZONING
 201 East Broadway
 Excelsior Springs, MO 64024
 Phone: (816) 630-0756

FOR OFFICE USE ONLY
 Fee: \$25.00
 Date Received: 8/5/24

Accounting Code (PP)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA-24-033
 Administrative HPC
 (for office use only)

Date: _____ Property Address: 461 S. Thompson Ave
 Applicant: Nicole Russell Telephone No.: 816 288 8174
 Applicant's Mailing Address: 2217 Corbin Ct. Excelsior Springs MO.
 Email: russellhairdocare@gmail.com
 Owner (if different from Applicant): _____

Historic District: Hall of Waters Elms Boarding House Local Landmark

- Are Federal or State permits, licensing or monies included in the project Yes No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

Contributing Non-contributing Commercial Residential

Type of work proposed (Check applicable categories)

_____ EXTERIOR ALTERATION _____ NEW CONSTRUCTION
X _____ SIGNAGE _____ DEMOLITION
 _____ BUILDING RELOCATION _____ REGRADING/FILL

Nicole Russell
 Applicant Signature

 Reviewed, Planning & Zoning

 Approved, HPC Chairman

 Disapproved, HPC Chairman

 Approved Building Official

 Disapproved Building Official

AFFIX PROJECT RELATED
PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

REMOVE OLD BUSINESS NAME (COPPERHEAD) WHICH IS INDIVIDUAL LETTERS HUNG BY SCREWS. PLACE NEW SIGN HEAD2TOE BEAUTIQUE WHICH IS A NEON LIGHT (COLORS ARE BLUE AND PINK) MEASURING AT 5 FT LONG, 9 1/2" TALL AND 1" DEEP. THERE IS ALSO A SMALLER SIGN (NEON) THAT READS @BOOKSY.COM THAT MEASURES 26 3/4" LONG AND 3 1/4" TALL AND WILL BE UNDERNEATH THE HEAD2TOE SIGN. THE NEON LIGHTS WILL BE HUNG ON THE WHITE WOOD EXTERIOR PANELING WHERE IT CURRENTLY READS COPPERHEAD.



@BOOKSY.COM

Date

Services Rendered/Retail Purchased

Retail \$

Service \$

5' →
 1" deep HEAD210E BEAUTIQUE ↓ 9 1/2"

@BOOKSY.COM ↓ 3 1/4"
 26 3/4" →



EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 107

<p>1. Property name, present Little Caesars, et.al.</p> <p>Property name, historic (see "History")</p> <p>2. Address/location 449-463 Thompson Ave. Excelsior Springs, MO 64024</p> <p>4. Owner's name and address</p> <p>5. Building <input checked="" type="checkbox"/> Structure Site Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial</p>	<p>7. Location Map</p> <p><i>encl. DOE</i></p> <p><i>Construction</i></p>
<p>8. Date of construction (or estimate) ca. 1926</p> <p>9. Changes Altered <input checked="" type="checkbox"/> Addition Moved</p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Elements Vernacular <input checked="" type="checkbox"/> Multiple entry w/display windows</p> <p>13. Plan Shape Irregular</p>	<p>14. Number of stories 1</p> <p>15. Roof type and material Flat/not visible</p> <p>16. Type of construction Masonry</p> <p>17. Exterior material(s) Brick</p> <p>18. Foundation material(s) not visible</p> <p>19. Porch(es) n/a</p>

20. Additional physical description **This long, one-story building is a "multiple entry with display windows" commercial building. There are seven storefronts with recessed entries. The central storefront, however, has two entry doors for separate shops, making a total of eight shops. The entry doors are flanked by large display windows with brick bulkheads. The transom window openings remain in a few stores, although the glass sashes themselves have been boarded over. Most of the transom areas, however, have been closed down and contain the signage for the commercial enterprise within. Two stores use the brick area above the transoms for signage. The cornice area of the roof projects outward, and has corbelled brick "brackets". Beneath these brackets are recessed brick panels in a cross shape.**

21. Description of environment and outbuildings 449-463 Thompson Ave. is located at the junction of Thompson, St. Louis Ave., Elms Blvd., and Isley Blvd. Directly west is the former McCleary Clinic building, south is the former post office, and just west of the southern end of the building, in the junction of the four roads, is a recreated well gazebo.

22. History and significance This "multiple entry with display windows" commercial building was constructed between 1922 and 1926. The 1940 telephone book lists the following companies (from north to south): Courtney Electric Company, Opal Barger Beauty Shop; Bewley's Beauty Shop; Adams Drug Sundries; and Wagonner's Lunch. The current businesses, again from north to south, are: Country Lane Carpet & Rug; Tri-Sports Bike Shop; Academy of Ryuku Kempo; Furniture & More; an antiques store; Family Video; and Little Caesars pizza. The storefront alterations are minor, and the building has retained its architectural integrity.

23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book.

24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey May, 1993

26. On National Register
Eligible for listing
Individual
District ✓
Local designation
Eligible for local designation ✓

27. Negative: roll# I frame# 6

(attach black and white photograph here)



Little Caesars

PIZZA 24/7

BIG CHEESE PIZZA

FAMILY VIDEO

PHOTO GALLERY



Signage

- 10.20 New signs should be appropriate in size, scale, and color to the historic buildings.
- 10.21 Signs should be scaled to pedestrians rather than automobiles.
- 10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.
- 10.23 The color and materials of the signage should coordinate with the historic district.
- 10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.
- 10.25 Permitted Sign Types
- Flush-mounted wall signs
 - Window Signs
 - Projecting Signs
- 10.26 Non-Permitted Sign Types
- Roof-mounted signs
 - Poorly made or temporary signs
- 10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations



**Community Development
Historic Preservation Commission Meeting - 8/14/2024**

To: Commission Members
From:
Date
RE: Matrix

ATTACHMENTS:

Description	Type	Upload Date
Matrix	Cover Memo	8/9/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



August 6, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Matrix Discussion

Background: The current Matrix, approved by the Historic Preservation Commission in 2020 provides guidance when reviewing work to be done by property owners and tenants within the historic districts. The matrix establishes when actions are required to be brought before HPC. Depending on whether or not the building is non-contributing or contributing may change whether or not the case must come before HPC.

This fiscal year, the Commission has heard cases for nine signs, three renovations, three window replacements, two demolitions, two awning additions, two decks, two doors, one ramp, one mural and one roof.

Staff Review: City staff has been approached about whether or not signage could be administratively approved. Currently the matrix requires that all signs/plaques and murals come before the Commission. Of those items listed on the matrix, the Commission approves the following:

- | | |
|---|---|
| Additions | Ramps (visible from street) |
| accessory structures | Relocations of buildings |
| awnings (new installation only) | Retaining Walls* |
| decks* | Roofing, Gutters & Downspouts (different materials) |
| demolitions | Screened-in porches* |
| doors (visible from the street) | Sidewalks (new construction) |
| exterior siding | Signs/plaques & Murals |
| Fountains (visible from the street) | Site Lighting (new installation) |
| Lighting (visible from the street)* | Storm Windows (new materials) |
| Masonry (major rehab/new construction) | <i>Trim (new material/design)</i> |
| New Construction | Windows (new materials) |
| Pools | |
| Porches (modification/new construction) | |

**In some cases where the property is non-contributing, approval is not be required by the HPC.*

Staff noted one typing error (italicized above) that should be approved by the Commission.

A Historic Preservation Commission (HPC) may authorize city staff to determine the appropriateness of signage on a historic building for several reasons:

Efficiency and Timeliness: Allowing city staff to make determinations can streamline the approval process, reducing the time it takes for property owners to get the necessary permissions. This is

particularly beneficial for straightforward or minor signage changes that do not significantly impact the historic character of a building.

Expertise and Consistency: City staff may have specific expertise and training in historic preservation guidelines and standards. By handling signage decisions, staff can ensure consistent application of these standards, maintaining the integrity of historic districts or properties.

Resource Allocation: The HPC may have limited resources and time. By delegating routine or less complex decisions to city staff, the Commission can focus on more significant issues or projects that require their attention and deliberation.

Clear Guidelines: If the criteria for appropriate signage are clearly defined, city staff can effectively use these guidelines to make decisions without needing the Commission's input for every case.

Flexibility for Property Owners: Delegating decision-making to city staff can provide more flexibility and accessibility for property owners, encouraging compliance with preservation standards by making the process less burdensome.

Overall, this delegation can help balance the need for preserving the historical character of buildings with the practicalities of property management and development.

Staff Recommendation/Action Requested: City staff would like to open discussion with the Commission on whether or not they would like to make changes to the current Matrix. Staff does recommend, at a minimum, the following: Replace the typing error of Time (new material/designs) with Trim (new materials/design).

Staff does not recommend that Murals be approved by staff. This may require a new stand-alone item on the matrix if the Commission were to consider allowing staff to administratively approve signage and plaques.

Respectfully Submitted,
Melinda Mehaffy
Economic Development Director

Certificate of Appropriateness Approval Matrix



ACTION	CONTRIBUTING			NON-CONTRIBUTING		
	Exempt	Administrative	HPC	Exempt	Administrative	HPC
Additions			X			X
Accessory Structures (sheds, garages, etc.) (visible and not visible from the street)			X			X
Awnings (new installation)			X			X
Awnings (color change)		X			X	
Decks (visible and not visible from the street)			X		X	
Decorative Shutters		X			X	
Demolitions (partial and all of building or structure)			X			X
Doors (visible from the street)			X			X
Doors (not visible from the street)		X			X	
Driveways		X			X	
Equipment (Antennas, Satellite Dishes, Solar Panels, etc..)		X			X	
Exterior Siding (in-kind repairs)	X			X		

Certificate of Appropriateness Approval Matrix (Continued)

ACTION	CONTRIBUTING			NON-CONTRIBUTING		
	Exempt	Administrative	HPC	Exempt	Administrative	HPC
Exterior Siding (replacement with new materials)			X			X
Fences or Gates		X			X	
Foundation (repair)	X			X		
Fountains (visible from the street)			X			X
Landscaping (visible from the street)		X			X	
Lighting (visible from street)			X		X	
Masonry (repointing repairs)	X			X		
Masonry (major rehabilitation and new construction)			X			X
Mechanical Equipment (exterior A/C condensers, other exterior equipment)		X			X	
New Construction (infill)			X			X
Paint (color change)		X			X	
Pools			X			X
Porches (modifications and new construction)			X			X

Certificate of Appropriateness Approval Matrix (Continued)

ACTION	CONTRIBUTING			NON-CONTRIBUTING		
	Exempt	Administrative	HPC	Exempt	Administrative	HPC
Railings		X			X	
Ramps (visible from street)			X			X
Relocation of Building or Structure			X			X
Retaining Walls			X		X	
Roofing (repairs)	X			X		
Roofing, Gutters, and Downspouts (replacement in-kind - color and material)	X			X		
Roofing, Gutters, and Downspouts (replacement with different materials)			X			X
Screened-in Porches (existing)			X		X	
Screened-in Porches (new construction)			X			X
Sidewalks (repair)	X			X		
Sidewalks (new construction)			X			X
Signs/Plaques and Murals			X			X
Site Lighting (repair/replacement in-kind)	X			X		
Site Lighting (new installation)			X			X

Certificate of Appropriateness Approval Matrix (Continued)

ACTION	CONTRIBUTING			NON-CONTRIBUTING		
	Exempt	Administrative	HPC	Exempt	Administrative	HPC
Storm Windows (replacement in-kind)	X			X		
Storm Windows (new materials)			X			X
Trim (repair/replace in-kind)	X			X		
Time (new materials/design)			X			X
Windows (repair)	X			X		
Windows (replacement in-kind)		X			X	
Windows (new materials)			X			X