

**Historic Preservation Commission
Council Chambers
Hall of Waters Building
201 East Broadway
Excelsior Springs, MO**



Meeting Notice

March 13, 2024 at 5:00 PM

Council Chambers

Google: Zoom.us
Meeting ID: 827 8896 7125
Passcode: 301032

Agenda

1. Call to Order
2. Roll Call
3. Approval of Meeting Summary: January 10, 2024
 - a. January 10, 2024 Meeting Summary
4. Comments from Public
5. Administratively approved COAs:
COA: HPC-23-035 for 513 Benton Avenue
COA: HPC-24-012 for 526 Isley
6. COA: HPC-24-004 - an application by Martha Griffith for a Certificate of Appropriateness to change the signage at 246 E Broadway Avenue.
COA: HPC 24-004
7. COA: HPC-24-005 - an application by Abundant Praise Fellowship for a Certificate of Appropriateness for several exterior repairs and improvements at 540 S. Kansas City Avenue.
COA: HPC-24-005
8. COA: HPC-24-006 - an application by Jeff Watkins for a Certificate of Appropriateness for several exterior repairs and updates at 111 N. Main Street.
COA: HPC 24-006
9. COA: HPC-24-007 - an application by Jessika Meek for a Certificate of Appropriateness for installing a sign at the business located at 463 S. Thompson Avenue.
COA: HPC-24-007

10. COA: HPC-24-008 - an application by Brenda Kilgore for a Certificate of Appropriateness for replacement of windows located at 414 S. Thompson Avenue.

COA: HPC-24-008

11. COA's: for Demolition:

COA: HPC-24-009 for 237 E. Broadway

COA: HPC-24-010 for 408 E. Broadway

COA: HPC-24-011 for 418 E. Broadway

12. Staff Comments: 2024 Historic Preservation awards nomination presented by Laura Mize.

13. Comments of Commissioners

14. Adjourn

Copies of this notice are available by contacting the Community Development Department at 201 E. Broadway, Excelsior Springs, MO 64024. 816-630-0756

Date and time posted: March 6th at 3:15 p.m.



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: January 10, 2024 Meeting Summary

ATTACHMENTS:

Description	Type	Upload Date
January 10, 2024 Meeting Summary	Cover Memo	3/8/2024

HISTORIC PRESERVATION COMMISSION

Meeting Summary

January 10, 2024 5:00 p.m.

Item 1. Call to Order

Chairman Bissell called the meeting to order at 5:00 p.m.

Item 2. Roll Call

PRESENT: Susan Blaser, Betty Bissell, Rick deFlon, Dennis Hartman, Anna Sue Spohn, and Jason Van Till.

ABSENT: Darryl Coutts

PUBLIC PRESENT: Isaac Pickard, Keith Hudson, Mark Kilgore, Brenda Kilgore (via zoom), Jacob and Melissa Simmons, Lyndsey Baxter (via zoom).

STAFF PRESENT: Sonya Morgan, City Council Liaison, Laura Mize, Neighborhood Specialist, Melinda Mehaffy, Economic Development Director and Lisa Morgan Administrative Assistant.

Item 3. Approval of meeting Summary from November 08, 2023.

Commissioner Van Till made a motion to approve the meeting summary for the November 08, 2023 meeting.

Commissioner Spohn seconded the motion. Motion Carried.

Vote: Motion Approved 6-0-0

Yes: Commissioners: Bissel, Blaser, deFlon, Hartman, Spohn and Van Till.

No: None

Abstain: None

Item 4. Comments from visitors: Keith Hudson asked to address the commission. Chairman Bissell invited Mr. Hudson to the podium. He is the manager of the Atlas Bar located at 100 W. Broadway. Mr. Hudson and the owner of the Atlas are thinking about putting a roof top bar on top on the Atlas and would like to know if the Historic Commission would support such an endeavor.

After answering the commissioners' questions about the project, the commission said as long as the formal application has plans with it that meet all related codes and design guidelines, they didn't see an issue with a roof top bar.

Item 5. Administratively approved COAs since last meeting: None.

Item 6. COA: HPC-24-001 - An application by Jake and Melissa Simmons for a Certificate of Appropriateness for several exterior improvements located at 604/606 S. Kansas City Avenue.

Chairman Bissell asked for the staff report.

Mrs. Mehaffy presented the information as listed in the staff report.

Chairman Bissell asked if there were any questions.

Chairman Bissell asked why the roof was not administratively approved, Mrs. Mehaffey said due to the roof being done prior to the COA application, the applicant said he didn't know he needed at COA it is no longer eligible to be administratively approved.

Chairman Bissell asked if the cedar beam had been sealed? Mr. Simmons said that it had been sealed.

Commissioner Spohn made a motion to approve HPC-24-001.

Commissioner deFlon seconded the motion. The motion carried.

Vote: Motion to approve 6-0-0

Yes: Commissioners: Bissell, Blaser, deFlon, Heartman, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Item 7. COA: HPC-24-002 - An application by Mark and Brenda Kilgore for a Certificate of Appropriateness for exterior signage for the business located at 414 S. Thompson Avenue.

Chairman Bissell asked for the staff report.

Mrs. Mehaffy presented the information as listed in the staff report.

Chairman Bissell asked if there were any questions.

Commissioner Blaser asked if it was going to be a no parking sign. Mrs. Mehaffy no it's to advertise their business.

Chairman Bissell asked what the signs were going to look like. Mr. Kilgore said the will look like to replicate the proposed way finding signage. Mrs. Kilgore said it will look like what Lyndsey is doing, not sure of the coloring for the lettering maybe teal. She wants it to match whatever Lyndsey is doing she doesn't want it to stick out like a sore thumb.

Chairman Bissell said some of the thing's DEP is doing for the way finding signage is copyrighted.

Mrs. Kilgore said it would be the same shape and color but have the business name and information on it. She will not be using copyrighted information it would be the information for her business.

Mrs. Mehaffy asked if the sign above the door would be on the wood or the brick. Mrs. Kilgore said it would be on the brick part of the building above the door. There is a window behind the wood piece that

is there now that will eventually be exposed. So, the sign has to go on the brick.

Chairman Bissell asked what color that sign will be? Mrs. Kilgore said it's going to be black.

Commissioner Van Till asked if the sign will look like the one that is currently there? Mrs. Kilgore said yes it will. It will be a charcoal color with white lettering.

Mrs. Mehaffy asked if the banner that is there now is 8 feet or 10 feet. Mrs. Kilgore said what is there now is 8 feet so the new sign will be 2 feet longer.

Commissioner Blaser made a motion to approve HPC-24-002.

Commissioner VanTill seconded the motion. The motion carried.

Vote: Motion to approve 6-0-0

Yes: Commissioners: Bissell, Blaser, deFlon, Heartman, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Item 8. COA: HOPC-24-003 – An application by JB Masonry for a Certificate of Appropriateness for demolition of current detached stone garage area and to rebuild back using stone located at 421 South Street.

Chairman Bissell asked for the staff report.

Mrs. Mehaffy presented the information as listed in the staff report.

Chairman Bissell asked if there were any questions.

Mr. Pickard the homeowner shared his plan for the rebuild of the garage, the front portion would be removed back to half the size, so the back portion would be half garage and half driveway so there would be no on street parking.

Chairman Bissel said the plans look nice.

Commissioner VanTill asked if the new garage doors would match what the existing doors would look like. Mr. Pickard said yes, they would.

Commissioner Blaser said if they can find a garage door that looks like these that would open automatically would be ideal.

Commissioner deFlon asked what the new roof would be made of? Mr. Pickard said it would be wood with tar paper and shingles as money permits.

Commissioner Hartman made a motion to approve HPC-24-003 with doors garage doors matching the current appearance.

Commissioner Blaser seconded the motion. The motion carried.

Vote: Motion to approve 6-0-0

Yes: Commissioners: Bissell, Blaser, deFlon, Heartman, Spohn and Van Till.

No: Commissioners: None

Abstain: Commissioner None.

Item 9. Comments from Staff:

Mrs. Mehaffy said the commissioners should have received an email from Lisa today about training Missouri Brownfields Assessment program that is available February 5th that is free and counts towards training credits for the year.

We are in conversations with the EPA and DNR what funding may be available to us in regards to the Hall of Waters building and planning in the Isely area in particular the old hospital building. Hopefully we can get some additional funding.

Sonya Morgan let the Commission know that the Missouri Preservation awards nominations are out. We would like to nominate Daniel Pierce for his publication about Excelsior Springs healing waters and tourism.

Mrs. Mehaffy informed the commission that we are moving forward on the Garland bridge construction, which is in the historic district, will not be coming before the commission due to it being a federal project.

The shoring on the front lawn at the hall is done and the stairs are completed and can be walked on now. It is now safe.

417 S Thompson we have an Italian deli coming into that location.

The new owners of the Mill Inn have put in a rezoning request to combine to one lot with a C3 zoning.

328 E Broadway as sold that is the Colonial Hotel and the new owner is Susan Blaser and we look forward to working with her. Were very excited to see a vacant building become habitable again.

251 E Broadway has gone through its final sale and we now have new owners there.

Also, Paradise Playhouse has sold.

Item 10. Comments from Commissioners:

Commissioner VanTill asked what the progress was on the Royal Hotel. Mrs. Mehaffy said there is no longer a pending sale for that property. The interested party back out of the project.

Chairman Bissell asked if we knew who purchased Boulevard Floral. Mrs. Mehaffy, we do not know who purchased it but have been told its going to be office space.

Chairman Bissell said at our last meeting a Ms. Myers was here and was asking about changing the color of an awning and wanting to know if it required a COA. It should require a COA that can be staff approved to assure it meets the guidelines.

Commissioner VanTill asked if that would require us changing something. Chairman Bissell said no it would not. The matrix says if it's a brand-new awning it has to come before the commission. Mrs. Mehaffy said it's on page 15 of the design guidelines book.

Item 11. Adjourn

The meeting was adjourned at 5:49 p.m.

The next meeting of the Commission is February 14, 2024 at 5:00 p.m.

Meeting Summary prepared by Lisa Morgan Historic Preservation Secretary



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-23-035 for 513 Benton Avenue

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-23-035 for 513 Benton Avenue	Cover Memo	3/8/2024



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 8-25-2023

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA/HPC-23-035
Administrative ☒ HPC ☒
(for office use only)

Date: _____ Property Address: 513 Benton Ave
Applicant: Penny Beers Telephone No.: _____
Applicant's Mailing Address: 513 Benton
Email: pbeers1973@gmail.com
Owner (if different from Applicant): _____

Historic District: ☐ Hall of Waters ☐ Elms ☒ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☐ Commercial ☒ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☐ SIGNAGE ☐ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

PAID
AUG 25 2023
BY: [Signature]

[Signature: Penny Beers]
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

White - Body	# 28 - CLASSICAL WHITE] ADMINISTRATIVELY Approved AUG 25, 2023
Trim - Tan	# 40 - POLYCOFT SEOE	
Accent - Rust	# 37 - POLY COFT RUST 280	

Repair Porch

TOP Deck -

Screen door

All Hand Rails

Add Flashing to flow off water
that is a dark color to blend wit roll roofing.

Bottom Porch Take off and
rebuild.

May need to replace pillar if needed would
rather use concrete than brick like others
on the Street. or like Next door



Survey number: CL-AS-015-020		2. SURVEY NAME: Boardinghouse Historic Resource Inventory		
3. COUNTY: CLAY		4. ADDRESS (STREET NO. 513	STREET (NAME) Benton Avenue	
5. CITY: Excelsior Springs	Vicinity <input type="checkbox"/>	6. UTM /	OR LAT: 39.3411 LONG: -94.217284	7. TOWNSHIP/RANGE/SECTION T: 52 R: 30 S: 1
8. HISTORIC NAME (IF KNOWN):		9. PRESENT/OTHER NAME (IF KNOWN):		
10. OWNERSHIP <input checked="" type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A HISTORIC USE (IF KNOWN): DOMESTIC: Single Dwelling 11B CURRENT USE: DOMESTIC: Single Dwelling		

HISTORICAL INFORMATION

12. CONSTRUCTION DATE: c. 1905	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input checked="" type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 2)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 2)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE? <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input checked="" type="checkbox"/> DISTRICT POTENTIAL <input checked="" type="checkbox"/> C <input type="checkbox"/> NC <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input checked="" type="checkbox"/>		22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input checked="" type="checkbox"/>

ARCHITECTURAL INFORMATION

23. CATEGORY OF PROPERTY: <input checked="" type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL: Asphalt	37. WINDOWS: <input checked="" type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT: 1/1
24. VERNACULAR OR PROPERTY TYPE:	31. CHIMNEY PLACEMENT: N/A	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input checked="" type="checkbox"/>
25. STYLE: American Foursquare	32. STRUCTURAL SYSTEM: Frame	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input checked="" type="checkbox"/> ALTERED DATE(S): c. 1920 <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S):
26. PLAN SHAPE: Irregular	33. EXTERIOR WALL CLADDING: Asbestos Siding	ENDANGERED BY:
27. NO. OF STORIES: 2 1/2	34. FOUNDATION MATERIAL: Stone	40. NO OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
28. NO. OF BAYS (1ST STORY): 2	35. BASEMENT TYPE: Full	41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION <input checked="" type="checkbox"/>
29. ROOF TYPE: Pyramidal	36. FRONT PORCH TYPE/PLACEMENT: Full-Width, Two-Story	

OTHER

42. CURRENT OWNER/ADDRESS: BEERS, DALE & PENNY; BIEKER, JAMES 513 BENTON AVE EXCELSIOR SPRINGS MO 64024	43. FORM PREPARED BY (NAME AND ORG.): Rosin Preservation, LLC Lauren Rieke 215 W. 18th Street #150 Kansas City, MO 64108 816-472-4950 Lauren@rosinpreservation.com	44. SURVEY DATE: 8/21/2014 45. DATE OF REVISIONS:
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FOR SHPO USE

DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input checked="" type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input checked="" type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		OTHER:

PHOTOGRAPHS

PHOTOGRAPHER Brad Finch, F-Stop Photography

DATE 8/21/2014

DESCRIPTION: North and west elevations, view southeast.

**ADDITIONAL INFORMATION**

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The two-and-one-half-story American Foursquare house has a brick foundation, asbestos siding and an asphalt shingle pyramidal roof. A two-story gabled wing projects from the south elevation. A hipped dormer rises from the north slope of the roof. A two-story porch spans the primary (north) elevation. It has brick piers with square wood columns on the first story and a wood picket rail on the second story. The primary elevation has two bays. On the first story, Bay 1 has an angled bay window with paired windows on the front and single windows on the sides; Bay 2 has a single door. On the second story, single windows fill each bay. Paired historic fixed wood windows pierce the dormer. Historic one-over-one wood windows pierce each elevation.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house is set back from the street at the center of the lot. Mature trees dot the property. A wood fence encloses the rear portion of the lot. A concrete sidewalk and wood stairs access the porch.

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house was built c.1905 on land platted in 1887. The date of 1905 is an estimation based partly on the style of the home, as records are scarce and Sanborn Fire Insurance Maps do not cover this area until 1909. According to the Sanborn Fire Insurance Maps, this home has had its southwest (rear) corner enclosed sometime between 1913 and 1926. The City Directories show Dr. W.D. Greason and A.W. Greason at the address in 1917 and W.B. Greason as owner/occupant in 1922. The 1940 phone book lists Elgin Leila Jesse at the address. [Boardinghouse Historic District Survey, 1994]

ELIGIBILITY STATEMENT:

The historic house retains sufficient historic character to communicate association with potential areas of significance and would be contributing to a potential historic district.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

PREVIOUS SURVEY NAME: Boardinghouse Historic District Survey, 1994; CL-AS-007-019
 Sanborn Fire Insurance Maps, 1894-1940--Kansas City, MO Public Library, Missouri Valley Special Collections; Excelsior Springs City Directories and Phone Books--Excelsior Springs Museum; Plats and Additions files--City Planning Department, City of Excelsior Springs, MO; Miscellaneous files and reference materials--Excelsior Springs Museum.

LOCAL REGISTER DISTRICT NAME: Boardinghouse Historic District

LOCAL REGISTER DESIGNATION DATE: 2010

LOCAL REGISTER DISTRICT C OR NC:



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-012 for 526 Isley

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-012 for 526 Isley	Cover Memo	3/8/2024



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY

Fee: \$25.00

Date Received: 3-4-2024

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-012

Administrative ☒ HPC ☐

(for office use only)

Date: 3/4/24 Property Address: 526 Isley Blvd., Ex. Spgs. MO 64024
Applicant: Sonya Morgan Telephone No.: 816-824-2424
Applicant's Mailing Address: same
Email: Sonya@morgansites.com
Owner (if different from Applicant):

Historic District: ☐ Hall of Waters ☐ Elms ☒ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☐ Commercial ☒ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION

☐ NEW CONSTRUCTION

☐ SIGNAGE

☐ DEMOLITION

☐ BUILDING RELOCATION

☐ REGRADING/FILL

PAID
MAR 04 2024

BY: [Signature]

[Signature]

Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

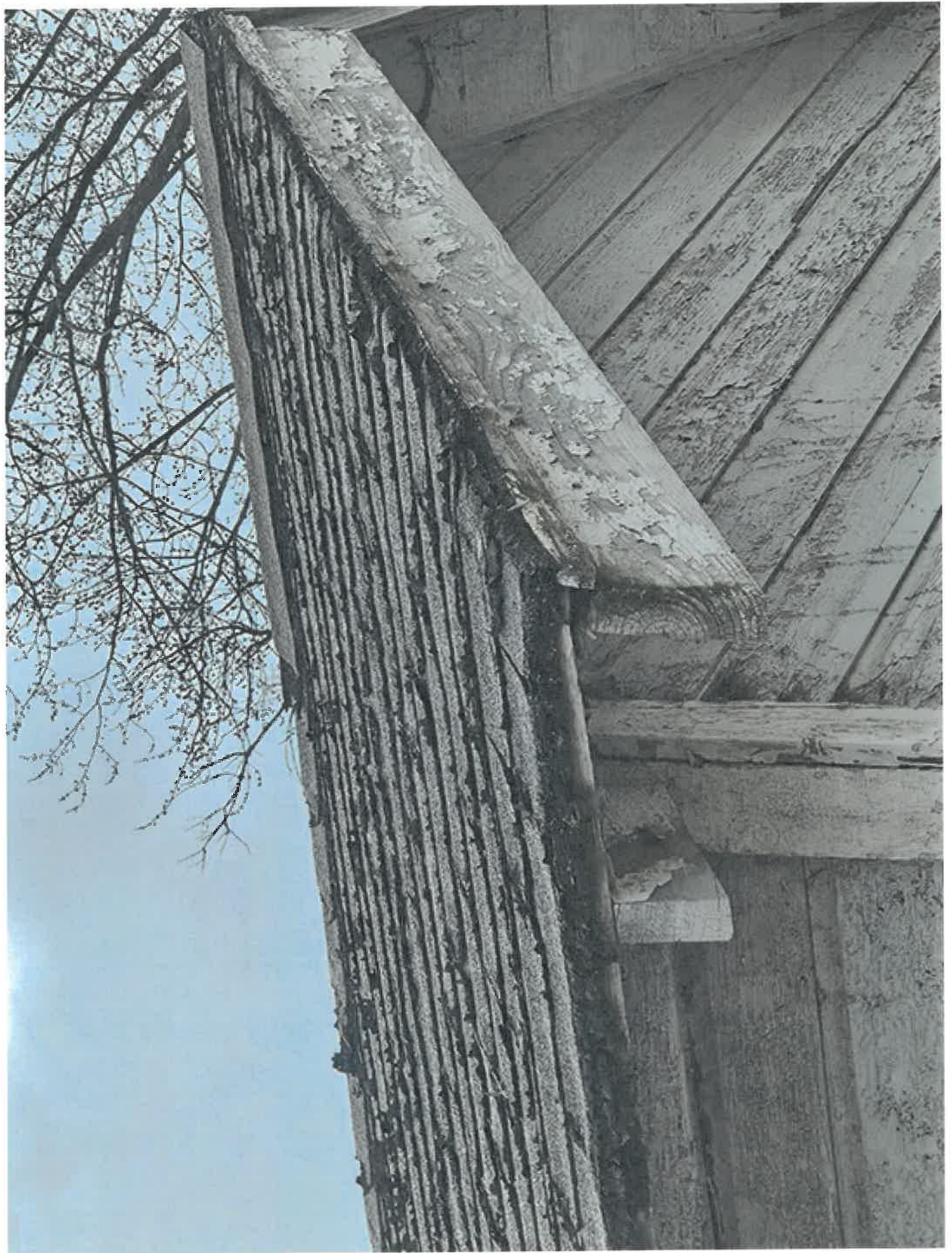
AFFIX PROJECT RELATED
PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

Replace roof on Shed. Gray Shingles
will match house.

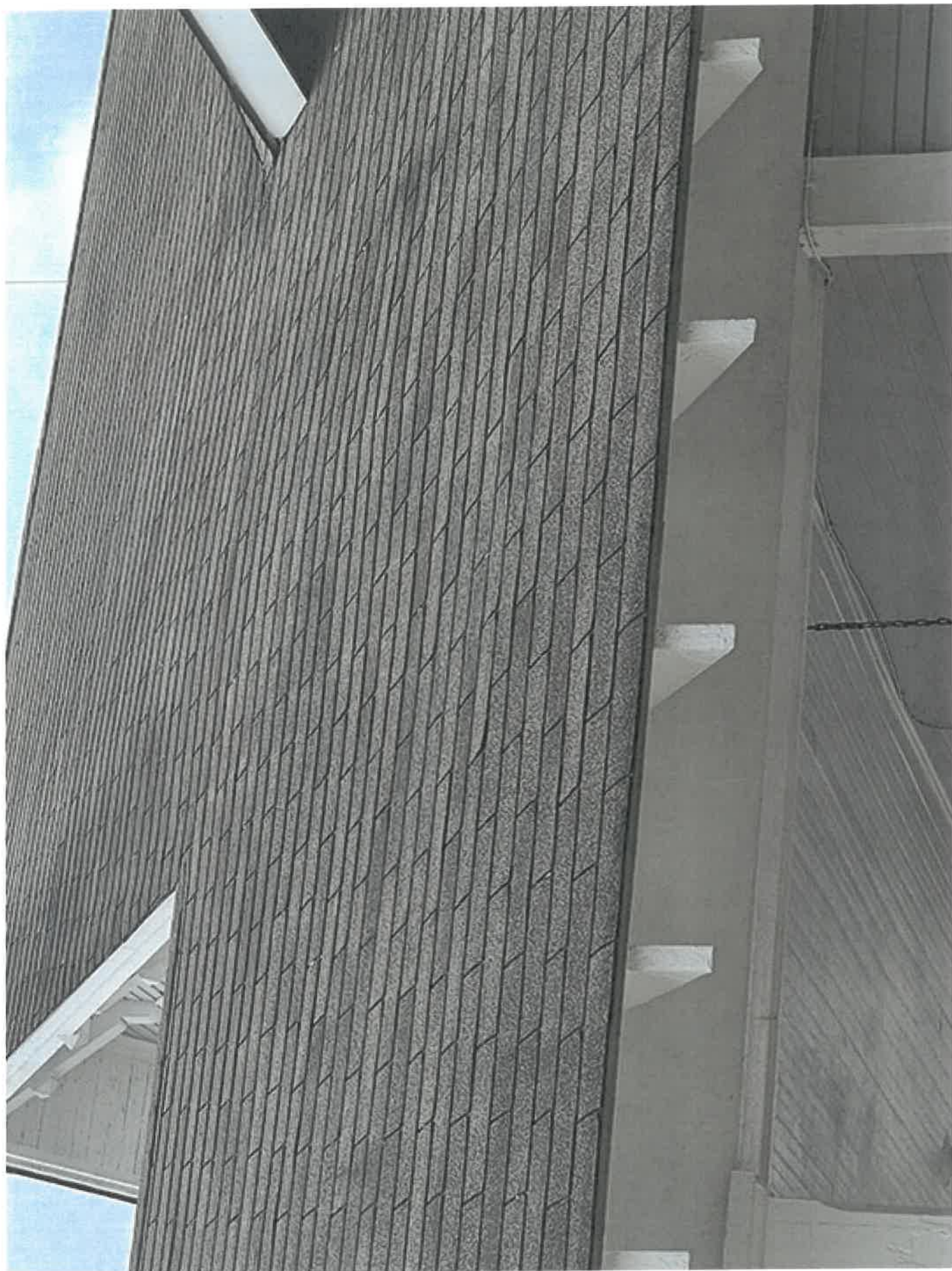
Repaint gray with white trim to
match house. no paint color change.

Paint ends of carport. no color change.













Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC 24-004

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC 24-004	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-004 – An application by Martha Griffith for a Certificate of Appropriateness to change the signage at 246 E. Broadway.

Historic District: Hall of Waters District

Background: This two-part commercial block building has two separate storefronts. The storefront for 246 E. Broadway has a centered entry with double-glass doors and metal frame. A projecting sign bracket and sign are already in place for the storefront. The applicant is proposing to change the sign in the existing bracket to a sign for their business. The new sign will be a metal sign, double-sided, and placed in the existing sign bracket on the exterior building.

Staff Review: The design guidelines suggest signage that is appropriate in size, scale and color to historic buildings. Signs should be scaled to pedestrians rather than to automobiles, and projecting signs can be appropriate if historic precedence is established for that building and area. The Commission has been consistent in supporting this type and size of projecting sign along the East Broadway commercial area.

The proposed signage appears appropriate in design and scale for the building and surrounding commercial properties and is consistent with the Excelsior Springs Historic Preservation Design Guidelines and the City's Sign Regulations.

Staff Recommendation/Action Requested: Staff recommends approval of the COA application.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Exhibit A- COA Application
Exhibit B- Photograph of Sign
Exhibit C- Excelsior Springs Historical Survey
Exhibit D- Excelsior Springs Historical Preservation Design Guidelines Signage page 111



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY

Fee: \$25.00

Date Received: 2-9-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-004
Administrative ☐ HPC ☒
(for office use only)

BY: [Signature]
Date: 2/9/2024 Property Address: 246 E Broadway Avon
Applicant: Martha Griffith Telephone No.: 816 337 0541
Applicant's Mailing Address: 15223 Washington Lane Rayville MO 64084
Email: theyellowponywesternstore@gmail.com
Owner (if different from Applicant):

Historic District: ☒ Hall of Waters ☐ Elms ☐ Boarding House ☐ Local Landmark
• Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
• If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

☐ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☒ SIGNAGE ☐ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

[Signature]
Applicant Signature

Reviewed, Planning & Zoning

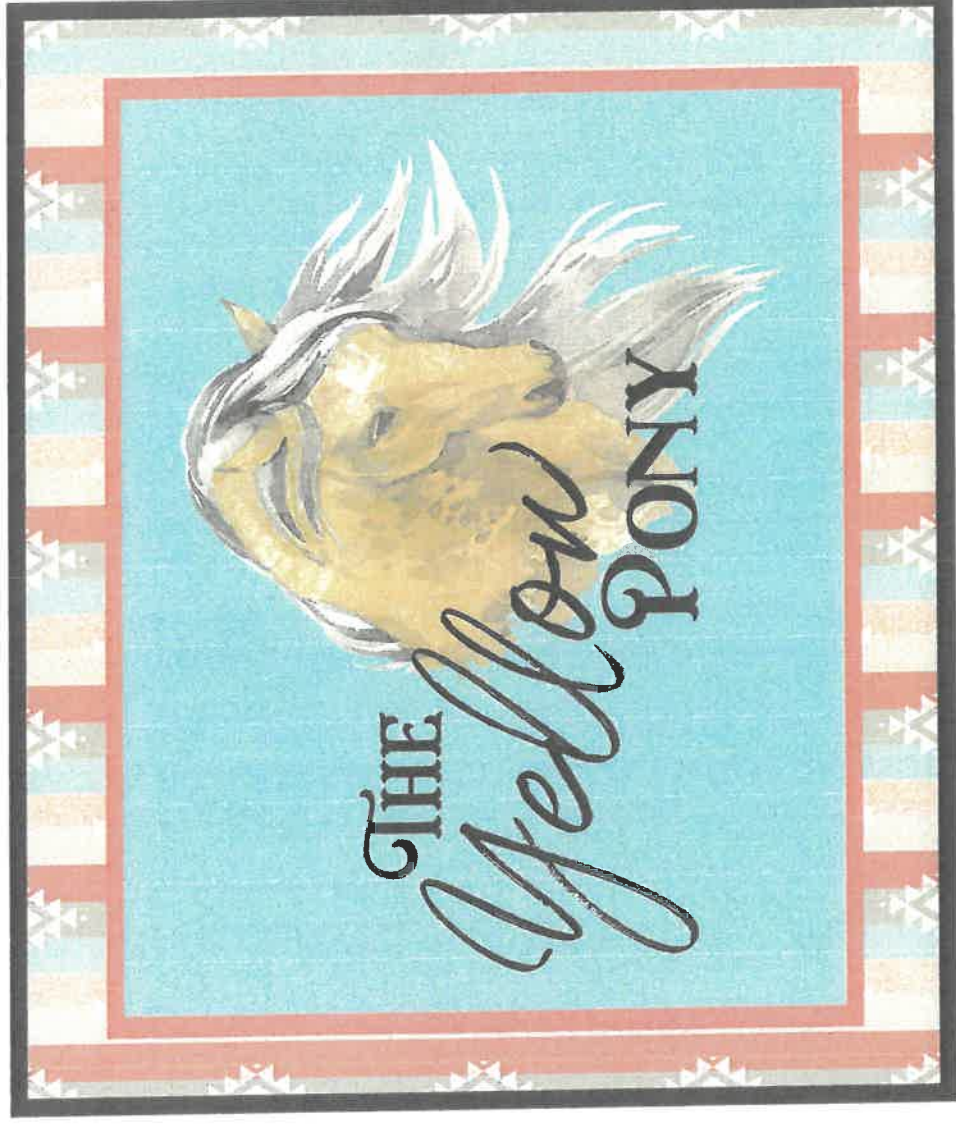
Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

Store Sign



29" Tall
32.5" wide

METAL SIGN

Will be double sided (same design)
Will fit in an already placed sign holder.

EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 84

2 buildings

1. Property name, present (244); Hair Function Junction (246)	Eagle Aerie Lodge #3917	7. Location Map
Property name, historic Dr. H.J. Clark's offices	City rest room & lodge hall; <i>244 East Broadway Street Building</i> <i>246 East Broadway Street Building</i>	
2. Address/location 244 & 246 E. Broadway Excelsior Springs, MO 64024		
4. Owner's name and address (see "History")		
5. Building ✓ Site	Structure Object	
6. Use, present Use, original restrooms	Commercial/fraternal lodge Commercial/fraternal lodge/public <i>02E 03A - 244</i> <i>02E - 246</i> <i>same for both except porch</i>	
8. Date of construction (or estimate)	ca. 1907	14. Number of stories 2
9. Changes <i>0000</i> Altered ✓ Addition Moved		15. Roof type and material <i>F+</i> Flat/not visible <i>99</i>
10. Architect/engineer/designer		16. Type of construction Masonry <i>UL</i>
11. Contractor/builder/craftsman		17. Exterior material(s) Brick <i>37</i> <i>02E 40</i>
12. Style: High Style Two-part commercial block Elements Vernacular ✓ <i>67</i>		18. Foundation material(s) <i>01</i>
13. Plan Shape Irregular <i>12</i>		19. Porch(es) n/a <i>246 - f u</i>

20. Additional physical description This two part commercial block has details on the second story which reflect its early twentieth century construction. It is comprised of two separate storefronts; however, the second story shares the same wall cladding and design details. 244 E. Broadway has a centered entry with double glass doors with metal frame, and a thin glass transom above. It is flanked by square display windows. The remainder of the storefront area (signboard, bulkhead, etc.) has been covered with a brick veneer. There is a recessed entry between the two storefronts, which leads to the second floor. 246 E. Broadway has a recessed entry near the center of the building (i.e., the west end of its storefront). The door is wood with a single large glass pane. There are large display windows to the east. The bulkhead area below has been covered with board & batten, and the transom/signboard are above has been covered with wood shingles. The second stories of these two addresses are nearly identical. There are three windows at 244, and two windows and a door at 246. This windows have simple, rectangular openings, and are one-over-one, double-hung sash with simple stone lugsills. However, the windows at 246 E. Broadway are slightly shorter. The door here, which formerly lead to a balcony porch, has lower wood panels, a single glass pane, and glass transom. There is currently a sign here, perpendicular to the plane of the front elevation. Above each set of windows, mid-way between the cornice, is a horizontal course, with six pairs of short, narrow, vertical stone bands.

21. Description of environment and outbuildings 244 and 246 E. Broadway are on the western edge of a short row of commercial buildings, within the downtown linear commercial district. A large vacant lot is on the west, and commercial buildings are across the street to the south.

22. History and significance Although they present a fairly unified front, due to the design of the second story, it is possible that these two buildings were constructed separately. 246 E. Broadway is shorter in length (from plan view) than its "identical" neighbor. In addition, it appears that 246 had, from the beginning, a balcony porch (thus the door on the second story). They both, however, were constructed sometime between 1905 and 1909. 244 E. Broadway, from the beginning, has served as a lodge hall for the Fraternal Order of the Eagles, Aerie 3917, Excelsior Springs. In addition, through at least the 1940's, it provided public toilets and a "lounging room" (variously referred to as the city rest room and public comfort station). Also housed here were the offices for the Commercial Club and the Excelsior Springs Military Band in 1917, the American Legion in 1922, and the Clay County Relief Committee in 1940. 246 E. Broadway, on the other hand, held private offices. Dr. H.J. Clark had offices here from at least 1917 through 1940, while various people resided in the upper quarters. This building retains its integrity in the upper stories, and it is associated with various commercial and civic enterprises which are closely associated with Excelsior Springs unique history as a health resort. Much more so than other small, midwestern towns, Excelsior Springs had a high proportion of visitors. Those visitors, who came to partake of the mineral waters for their health, would follow a physician's orders for various waters. A specific well water was to be taken in the morning, a different one in mid-morning, another in the afternoon, etc. Visitors would walk from well to well throughout the day, and would naturally require public restrooms. These were therefore provided in Excelsior Springs at a comparatively early point in its history. 244 E. Broadway is owned by the Excelsior Springs Fraternal Order of Eagles 3917 (same address). 246 E. Broadway is owned by: Earlwood & Lovella Shelton; 29223 Vickie Drive; Excelsior Springs, MO 64024.

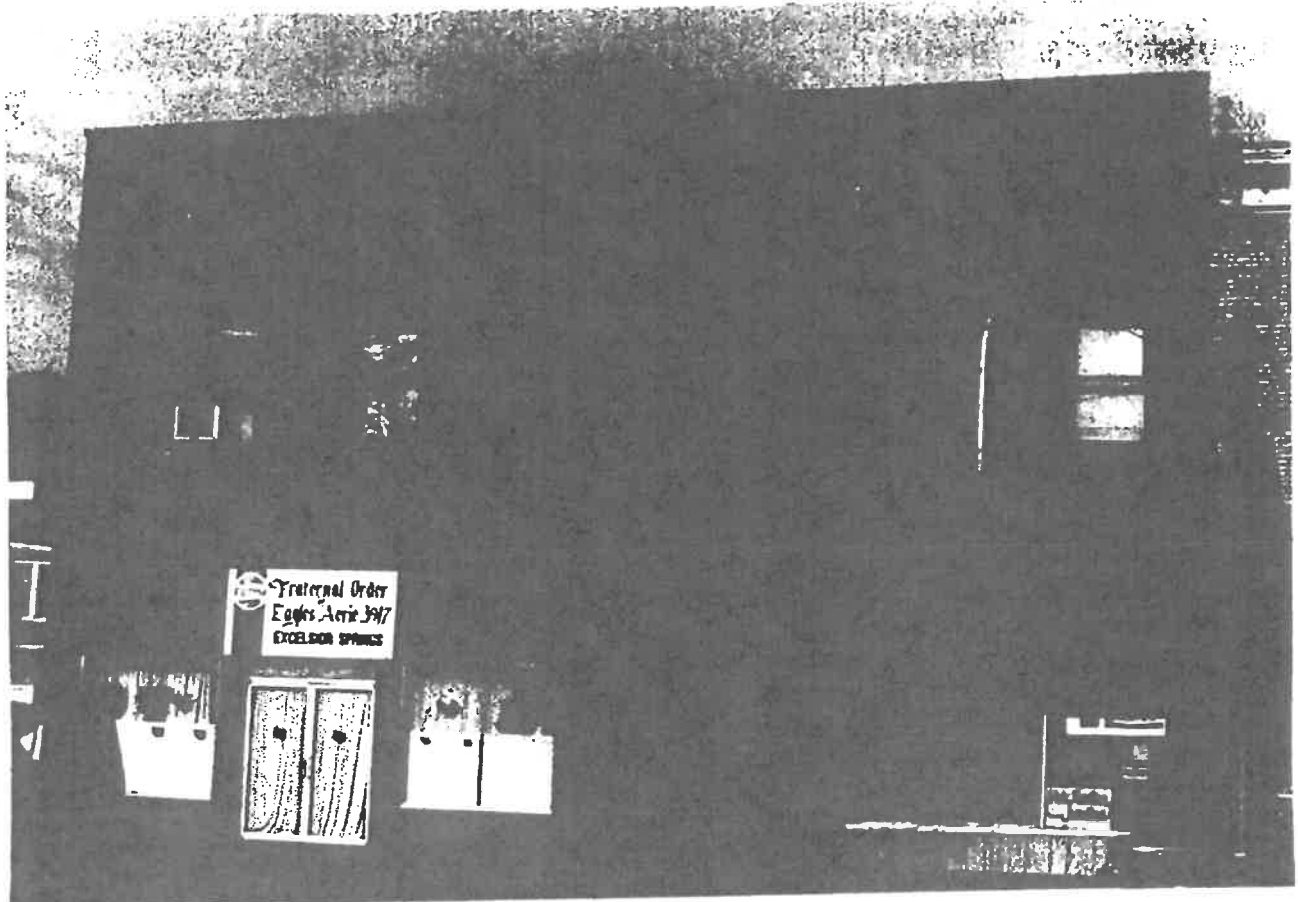
23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book.

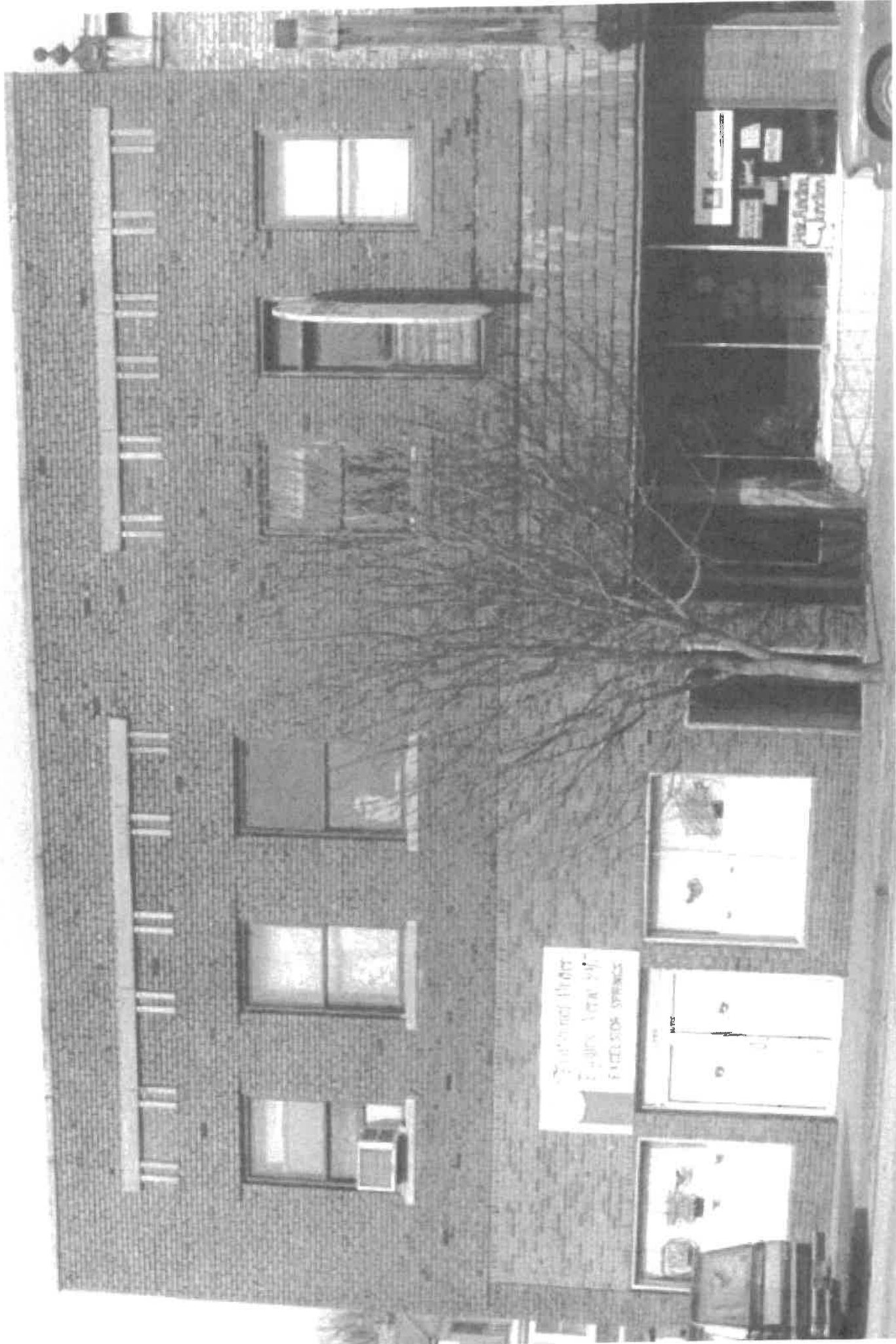
24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

26. On National Register
Eligible for listing
Individual

27. N



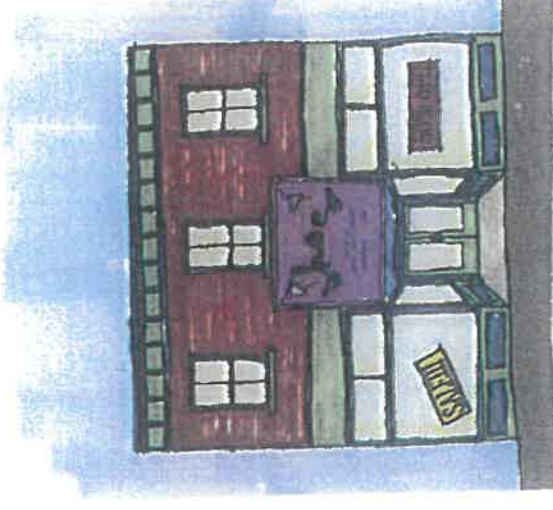


Signage

- 10.20 New signs should be appropriate in size, scale, and color to the historic buildings.
- 10.21 Signs should be scaled to pedestrians rather than automobiles.
- 10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.
- 10.23 The color and materials of the signage should coordinate with the historic district.
- 10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.
- 10.25 Permitted Sign Types
- Flush-mounted wall signs
 - Window Signs
 - Projecting Signs
- 10.26 Non-Permitted Sign Types
- Roof-mounted signs
 - Poorly made or temporary signs
- 10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-005

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-005	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-005 – An application by Abundant Praise Fellowship for a Certificate of Appropriateness for a several exterior repairs and improvements at 540 S Kansas City Avenue, Excelsior Springs.

Historic District: Elms

Background: This commercial building appears to be built in late 1960's to early 1970's. This building embodies the architectural essence of its era, characterized by its utilitarian design and robust construction. This structure features a simple, boxy form, devoid of excessive ornamentation, reflecting the minimalist aesthetics popular during that time. The building's façade is predominately clad in red or brown brick, arranged in straightforward patterns that emphasize functionality over decorative flair. Large, often rectangular windows punctuate the façade, designed to maximize natural light while offering a practical, no-frills appearance. Despite its straightforward design, the building stands as a testament to the period's architectural trends, prioritizing practicality, durability, and a certain stark, understated beauty that captures the spirit of the 1970's

The applicant proposes the following exterior enhancements:

1. The existing church's main doors are to be removed and substituted with full-panel tempered glass doors, each 36 inches in width, conforming to ADA standards. This modification will not necessitate any structural alterations to the existing door framework.
2. The current signage will be replaced with a new sign of similar dimensions. The proposed sign, measuring 48 inches by 80 inches, will be constructed from metal featuring raised plastic letters. It will have a black background with white letters. It will have a black background with white lettering, accented with elements of blue.
3. The side entry stairs will be removed and substituted with newly constructed stairs made from cedar wood. This wood will be stained to match the building's trim color.
4. A shadow box fence is to be installed surrounding the current A/C units, with native plants planned to be planted in front of this fence to enhance aesthetic appeal.
5. The downspouts, gutters, doors, foundation, and wood trim are to be painted in dark brown, specifically using Sherwin Williams SW7020 Black Fox. A color sample has been provided for reference.
6. Additionally, the applicant proposes to apply paint to the brickwork on the building's exterior, aiming to further enhance its aesthetic appeal.

Staff Review: Staff reviewed the various elements of the building's renovation or restorations proposed at 540 S Kansas City Avenue. Staff review involved thorough assessment of the compatibility with the Historic Preservation Design Guidelines. Here is the summary of the proposed enhancements:

1. **Door Replacement:** The replacement is deemed consistent with the Historic Preservation Design Guidelines as it matches the existing door frame in size, scale, and proportion, ensuring compatibility with the building's historical character.
2. **Sign Replacement:** The new sign is consistent with the guidelines, as it continues to utilize the current sign placement in front of the building, thereby maintaining the historical aesthetic.
3. **Wood Stairs Replacement:** The original wood stairs, which were rotted and irreparable, are being rebuilt with materials similar in appearance and quality, aligning with the guidelines that advocates for like for like replacements in the Historic Preservation Design Guidelines.
4. **Shadow Box Fence:** The proposed modern Board-on-board style shadow box fence does not comply with the Historic Preservation Design Guidelines, which presumably favor fencing styles that more in keeping with the historical character of the area.
5. **Color Approval:** The color for the downspouts, gutters, doors, and wood trim have been administratively approved.
6. **Foundation Stone Painting:** The Historic Preservation Design Guidelines permits the painting of concrete foundations.
7. **Brick Painting:** Consistent with the Historic Preservation Design Guidelines, it advises against painting brick surfaces that have never been painted before, as this could compromise the brick's integrity and the building's historical authenticity.

Staff Recommendation/Action Requested:

City staff finds the application for door, sign, and stairs replacement consistent with the Excelsior Springs Historic Preservation Design Guidelines. The painting of concrete foundation is also consistent with the design guidelines. City Staff recommends approval of the door, sign, stairs replacement, and painting of the concrete foundation.

City staff finds the application for the shadow box fence and painting of the brick to not be consistent with Excelsior Springs Historic Preservation Design Guidelines. City staff recommends denial for these proposed projects.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Exhibit A: COA Application

Exhibit B: Photograph renderings of the new proposed doors

Exhibit C: Photograph renderings of the new proposed sign

Exhibit D: Photograph renderings of painted doors, gutters, downspouts, and window trim

Exhibit E: Photograph of proposed fence

Exhibit F: Photograph rendering of the building with proposed painted brick

Exhibit G: Excelsior Springs Historic Preservation Design Guideline Fences

Exhibit H: Excelsior Springs Historic Preservation Design Guideline Masonry

Exhibit I: Excelsior Springs Historic Preservation Design Guideline Doors

Exhibit J: Excelsior Springs Historic Preservation Design Guideline Signage

Exhibit K: Excelsior Springs Historic Preservation Design Guidelines Foundation 7.3



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 2-14-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: 24-005
Administrative ☐ HPC ☒
(for office use only)

Date: 2/12/24 Property Address: 540 Kansas City Ave. S.
Applicant: Abundant Grace Fellowship Telephone No.: (816) 588-8227
Applicant's Mailing Address: 12400 NE Sherman Rd. Kansas City, MO 64166
Email: Pastor Cary @ Refuge Church Online.com
Owner (if different from Applicant):

Historic District: ☐ Hall of Waters ☒ Elms ☐ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☐ Contributing ☒ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☒ SIGNAGE ☐ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

PAID
FEB 14 2024
BY: [Signature]

[Signature]
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

Main Entry Doors

AFFIX PROJECT RELATED PICTURE HERE

See following pages
for pics, dimensions,
and rendering.

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

Remove existing main entry doors to church that are rotting, do not close right, and are NOT ADA approved. Replace with full panel, tempered glass that are also, 36" wide, ADA approved will also have panic handles from interior to allow proper exit from building in case of emergency. Door to have skylights on each side of door (also tempered glass). No structural changes will be made to the door, this one will fit in existing opening.

2/16/2024 2:52 PM

Frame Name: Frame 1

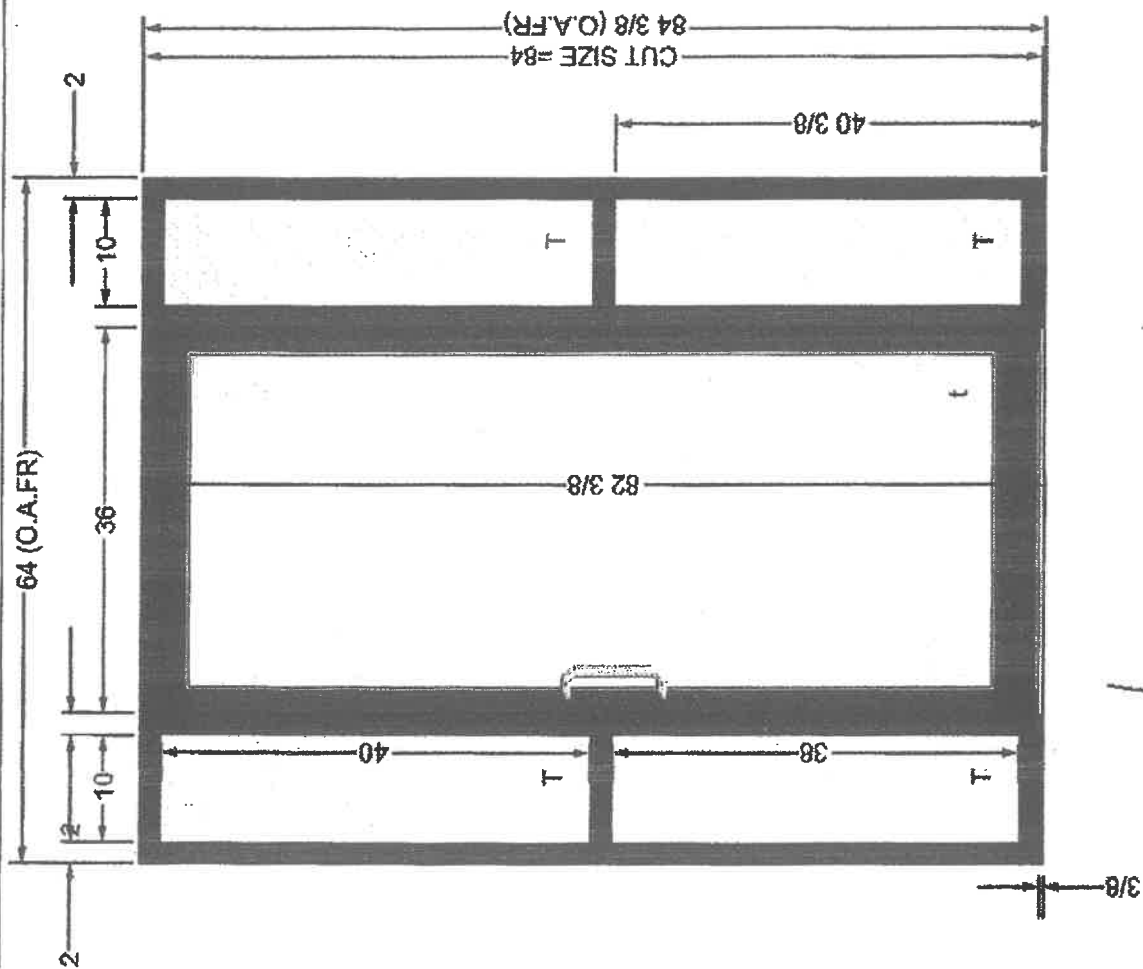
Frame Type: Standard

Frame Width: 64

Face Member Color: DB DARK BRONZE : ANODIZED

Rows: 2

Frame Height: 84 3/8



BEFORE - Existing Front Door that is NOT ADA compliant, rotting wood, doesn't close right, and allows no natural light (no structural changes necessary).



AFTER - New Front Door replacing existing door opening (no structural changes necessary).



NOT
FORNED

Church Sign

AFFIX PROJECT RELATED PICTURE HERE

See following for rendering,
bid, design, etc.

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

We will be changing the church name therefore, we will need a new sign. We intend to keep a very similar size sign. Sign will have spotlight on it (spotlight already pre-existing). We will print existing posts in ground and install new sign to those.

ASHLOCK SIGNS, INC. BID:

48 X 80 CUT OUT RAISED PLASTIC LETTERS ON MAXMETAL PANEL - \$2,200.00 USING EXISTING POST. THIS OPTION WILL HAVE TO BE DIFFERENT DESIGN DUE TO CERTAIN LETTER STYLES.

INSTALL - \$225.00

Thanks!

Ashlock Signs, Inc.
1880 W US HWY 69
Excelsior Springs, MO
64024

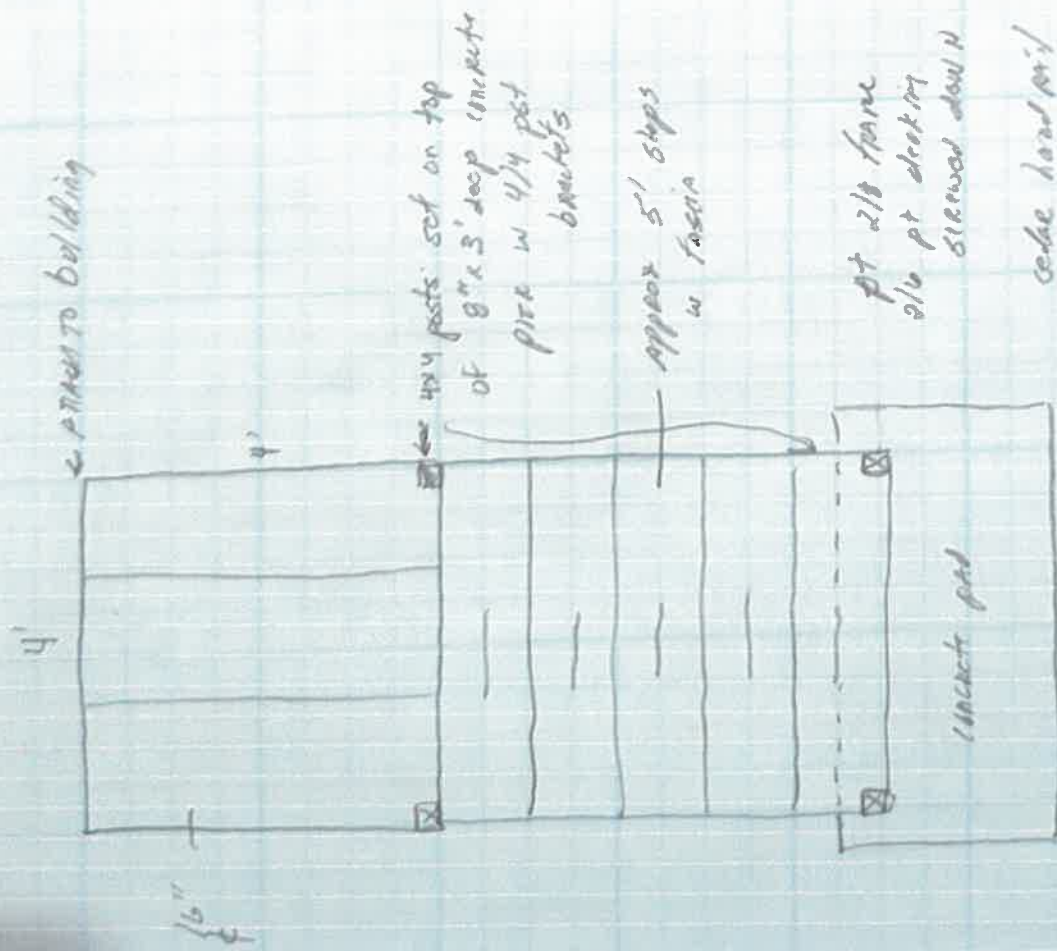
Side Entry Stairs, Fence, and Exterior Paint.

AFFIX PROJECT RELATED PICTURE HERE

Please see following pages for stair plan, dimensions, renderings, paint color information, and more.

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

- 1.) We are looking to replace side entry stairs that were completely rotted out and coming away from building. Stairs will have a small landing, a handrail, and spindles. Material will be Cedar wood. Wood to be stained color of wood from we hope to have approved, this way everything will have a uniform look.
- 2.) At front of building, we hope to install a shadow box fence around AC units. In front of the fence we would like to plant some shrubs that frame the building and give a visual appeal to the front of the building.
- 3.) We would like to paint the gutters, downspouts, doors, ~~and~~ foundation and wood trim a dark brown color to get rid of peeling paint and provide a color that better accents the brick. Paint color info on following page.



RT side
BLD.

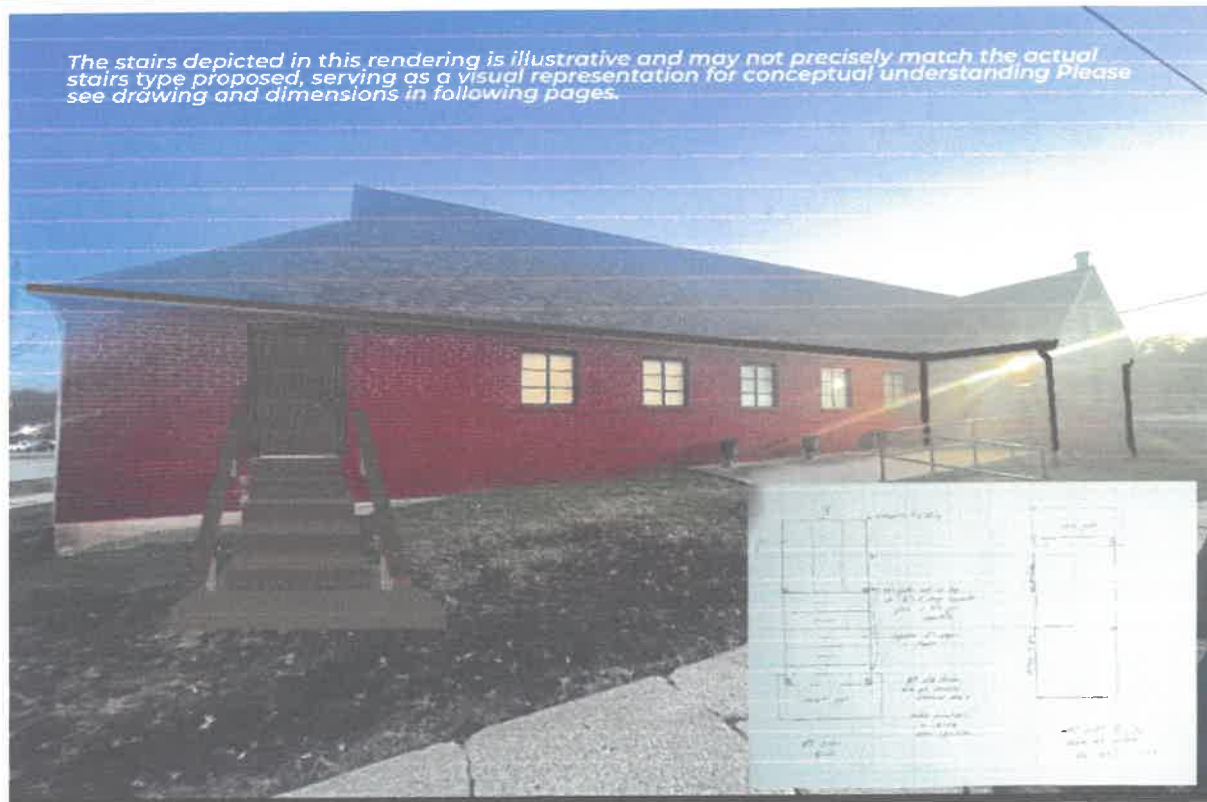


Left side building
same as other
No Rail / side

BEFORE – Cream color paint that is peeling and chipping AND old rotten entry stairs at both side entrances.



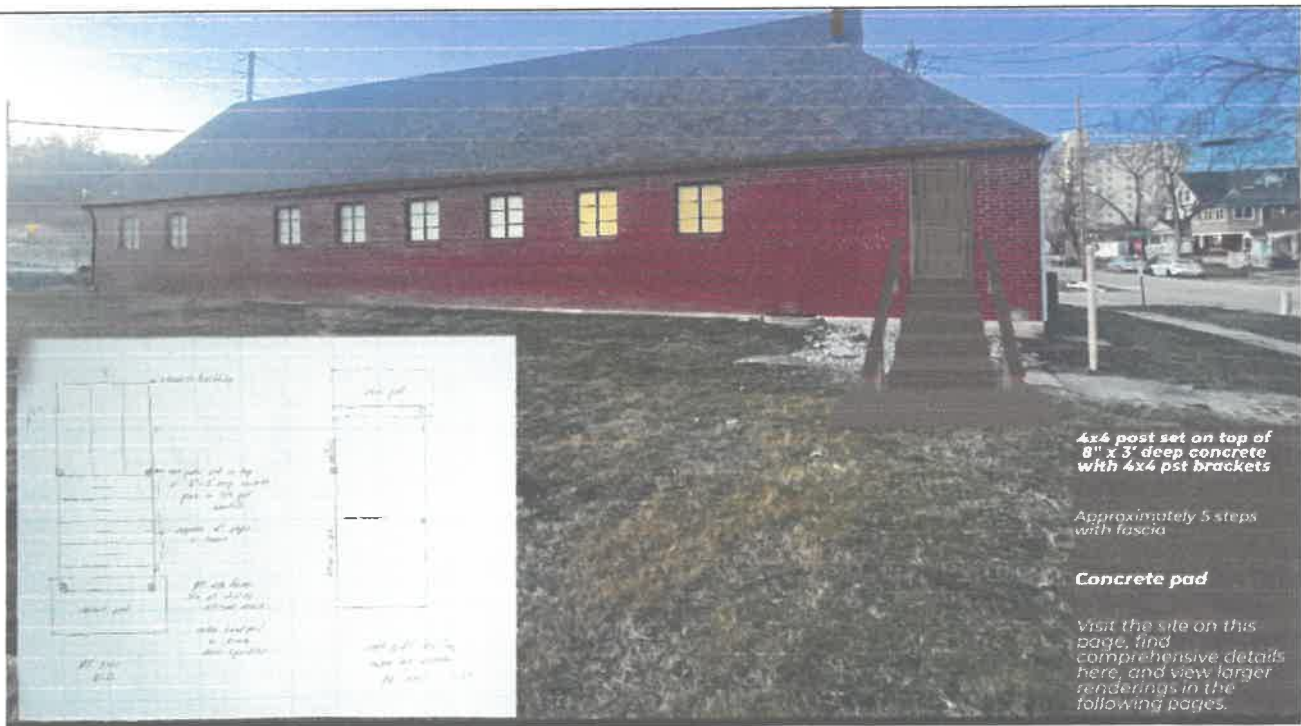
AFTER – Paint doors, foundation, gutters, downspouts, and window trim. AND replace stairs with new stairs, railings, landings, handrail, and spindles that will be stained to match paint color.



BEFORE – Cream color paint that is peeling and chipping AND old rotten entry stairs at both side entrances.



AFTER – Paint doors, foundation, gutters, downspouts, and window trim. AND replace stairs with new stairs, railings, landings, handrail, and spindles that will be stained to match paint color.



BEFORE - Exposed AC units with no visual accents on the front of the building.



AFTER - painted front with fence and shrubs (similar to what is pictured). One taller shrub will be planted to aim to cover window AC unit hanging off the front of the building.



Don't use
- shadow box

The fencing depicted in this rendering is illustrative and may not precisely match the actual fencing type proposed, serving as a visual representation for conceptual understanding.

PAINT INFORMATION FOR OUR DESIRED DARK BROWN COLOR FOR EXTERIOR TRIM,
DOWNSPOUTS, GUTTERS, and DOORS.



SW7020

The RGB values for Sherwin
Williams SW7020 Black Fox are
81, 74, 68 and the HEX code is
#514A44. The LRV for Sherwin
Williams SW7020 Black Fox is
7.05.



SW 7080
Quest Gray
Locator Number: 227-C3

SW 6357
Choice Cream
Locator Number: 265-C5

✓ FEATURED IN SCENE

SW 7008
Alabaster
Locator Number: 255-C2

SW 7004
Snowbound
Locator Number: 256-C2

✓ FEATURED IN SCENE

SW 7020
Black Fox
Locator Number: 244-C7



SHERWIN-WILLIAMS

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Created with



SW 7080
Quest Gray
Locator Number: 227-C3

SW 6357
Choice Cream
Locator Number: 265-C5

SW 7008
Alabaster
Locator Number: 255-C2

✓ FEATURED IN SCENE

SW 7004
Snowbound
Locator Number: 256-C2



SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

10.18 Fences

- a. Existing fences that contribute to the historic character of the property should be retained and preserved.
- b. When reconstructing a historic fence, the new construction should be based on an existing fence and historic documentation of the original that identifies the defining features, including materials, height, scale, configuration, ornamentation, and detail.
- c. Tall fences that close off, obstruct, or block views of the front of the primary elevation and property are not allowed.
- d. Ornamental fences should be 2-1/2 feet tall or less, so as to not distract from the architectural elements of the building.
- e. Privacy fences may be considered for back yards when it is considered necessary to screen an objectionable view.

f. Wood Fences

- i. New wood fences should complement the style of the existing building.
 - ii. Wood fences should be painted or stained an opaque finish.
 - iii. Wood fences with a modern pattern, such as basketweave, stockage, split rail, and board-on-board are not allowed.
- g. Metal (Steel, Aluminum, or Iron) Fences
- i. It is recommended to use a simple pattern if a historical precedent cannot be established.
 - ii. Metal chain link fences are not allowed.
- h. Synthetic Fencing Materials
- i. Some modern composite or synthetic fencing materials are difficult to distinguish from wood and may be allowed on a case-by-case basis.
 - ii. Vinyl fences will not be permitted.
- i. Ornamental Shrubs may also be used as a fence when planted in tight rows. Shrubs must be pruned correctly and kept neat in order to clearly define the building's property line.

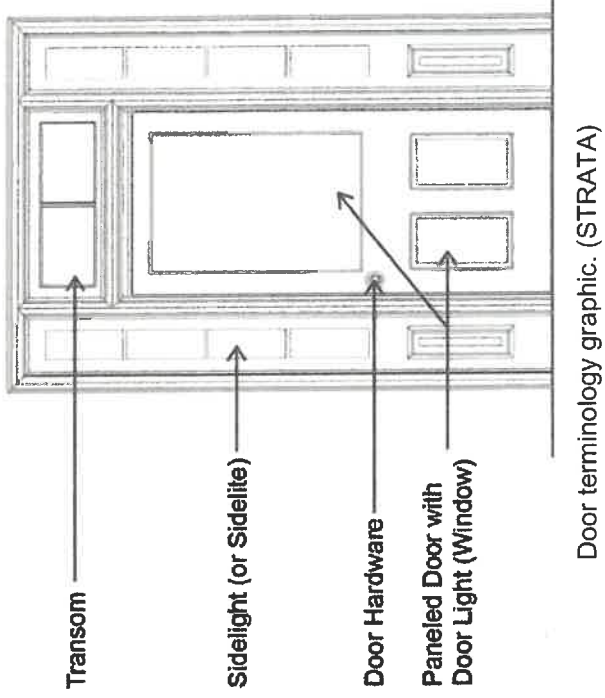
- h. Painting brick or stone that has not been previously painted should be avoided. Painting brick may result in trapping moisture in walls, causing deterioration of the wall system.
 - i. Repainting Existing Painted Brick Buildings
 - i. Care should be taken not to damage the building further when repainting a historic brick building.
 - ii. All paint should be tested for lead, and appropriate removal, repair, or remediation action should be taken by an RRP (Renovation, Repair, and Painting)-certified contractor, per local and state guidelines.
 - iii. Scrape off loose paint by hand. It is only necessary to scrape paint to the next solid layer. Do not use an abrasive method such as sandblasting or power washing with water pressure greater than 300 psi.
 - iv. Chemical paint remover may be used if applied correctly and approved for use on historic masonry material.
 - v. Repaint building with paint that is appropriate for masonry and is "breathable" to allow moisture to escape masonry wall system. The new paint should be compatible with the existing paint.
- j. Removing Existing Paint from Brick Building
 - i. The gentlest possible method for removing paint should be used. Test removal method in an inconspicuous area prior to moving forward with removing paint from the entire building.
 - ii. All paint should be tested for lead, and appropriate removal, repair, or remediation action should be taken by an RRP (Renovation, Repair, and Painting)-certified contractor, per local and state guidelines.
 - iii. Paint stripping should be done utilizing the gentlest method available and with a product that has been proven to be safe on historic masonry.
 - iv. Chemical paint remover may be used if applied correctly and approved for use on historic masonry material.

Paint Colors

- 7.35 The color scheme for a building should be historically appropriate and sensitive to the architectural style and age of the building.
- 7.36 A building's color scheme should be coordinated for all of the building elements.
- 7.37 The color scheme should be sensitive and harmonize with the buildings immediately adjacent to the property and the overall architectural styles in the district. All buildings do not need to look the same, but a building's paint colors should be sensitive to the building's neighbors.

Doors and Entries

- 7.38 Original doors, frames, sidelights, and transoms should be maintained and preserved.
- 7.39 Whenever possible, repair a historic door, frame, sidelight, and transom rather than replace it.



- 7.40 Do not replace an original door unless it is deteriorated beyond repair. Replacement to increase energy efficiency should be avoided.
- 7.41 Altering door openings should be carefully considered and will be reviewed on a case-by-case basis.

7.42 New wood or finished metal doors that replicate the original doors and/or are compatible with the architectural style of the building may be used.

7.43 The use of hollow core interior doors or unpainted or raw aluminum exterior doors are not allowed

7.44 Raw, unprotected wood doors, frames, and trim are not permitted. Wood doors should be protected with exterior -grade paint, stain, or varnish.

7.45 New doors should maintain the size, shape, placement, and configuration of the original doors. Door height should not be modified. For example, a short door should not replace a tall door.

7.46 Do not cover or infill sidelights or transoms.

7.47 Previously covered or infilled sidelights or transoms are encouraged to be restored with new transom that matches the existing transoms on the building or within the historic district.

7.48 Compatible screen/storm doors are allowed if they do not obscure the historic features of the original door. Highly reflective contemporary storm doors are not permitted.



Example of inappropriate door replacement. The replacement door is too short and does not fit into the door opening. (STRATA)



Example of an infilled transom. Infilling a transom is not permitted. (STRATA)

Signage

10.20 New signs should be appropriate in size, scale, and color to the historic buildings.

10.21 Signs should be scaled to pedestrians rather than automobiles.

10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.

10.23 The color and materials of the signage should coordinate with the historic district.

10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.

10.25 Permitted Sign Types

- Flush-mounted wall signs
- Window Signs
- Projecting Signs

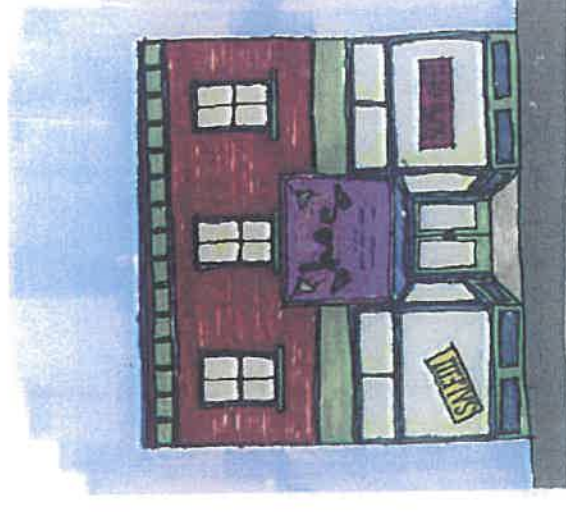
10.26 Non-Permitted Sign Types

- Roof-mounted signs
- Poorly made or temporary signs

10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations

Guidelines for the Treatment of Historic Properties

General

- 7.1 All efforts should be taken to maintain and preserve all historic properties, including original outbuildings.
- 7.2 Historic site features, such as walkways, fences, stone retaining walls, historic landscaping, and mineral water resources, should be maintained and preserved.

Foundations

- 7.3 Repair or replacement foundations should be made using materials that will replicate the original to the greatest extent possible.
- 7.4 Concrete foundations are permitted to be painted.

Roofs

- 7.5 Original roof forms (slope, shape, orientation, and overhanging and detailing of eaves) should be preserved.
- 7.6 Original parapets and parapet caps should be preserved.

- 7.7 Use appropriate roofing materials when re-roofing. Replacement roof materials should match the color, size, texture, and look of the original roofing materials. Synthetic or substitute materials will be reviewed on a case-by-case basis to ensure the synthetic materials matches the original. Detailing of roofing terminations should be per the manufacturer's recommendation and should be historically appropriate for the building type. New synthetic or substitute materials should not be installed over the existing roofing material.
- 7.8 Original gutters and downspouts should be preserved. If replacement is required, they should be replaced in-kind, matching the original dimensions, shape, and details.
- 7.9 New gutters and downspouts should be of a compatible style of the architectural style of the historic building.
- 7.10 Existing chimneys should be maintained and preserved.
 - a. If a chimney is no longer in use, consider installing a non-visible cap to prevent water infiltration and heat loss.
- 7.11 Existing dormers should be maintained and preserved.



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC 24-006

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC 24-006	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-006 – An application by Jeff Watkins for a Certificate of Appropriateness for several exterior repairs and updates at 111 N Main Street, Excelsior Springs, Missouri.

Historic District: Hall of Waters District

Background: This commercial building is located at the southeast corner of North Main and Excelsior Streets. This commercial building is located on the former site of a one-story frame grocery, restaurant, dwelling, and a brick dwelling. It was constructed sometime between 1909 and 1911. In 1917 through the 1920's it housed R.W. Pack & Co. Furniture Store. This commercial building is a contributing building in the Hall of Waters District.

The applicant is proposing the following exterior updates for 111 N Main Street:

1. Removing existing roof all the way to the decking and replacing with a firestone rubber roof. (EPDM Roofing System)
2. Removal of the existing garage door and installing a new glass style garage door.
3. Adding an exterior door to access the proposed upstairs apartments off of E Excelsior Street.
4. Removal of the existing white siding and will replace with like and kind.
5. Tuck point the entire building.
6. Removal of the old white paint on store front facing N Main Street and will repaint with approved white from Sherwin William Historic Paint color.
7. Repair the white skim located on the North side of the building.
8. Adding gutters to the building for stormwater management.
9. Installing new windows where boards are covering the openings. These new windows would be the same white vinyl windows that are on the rest of the upper floor.
10. Installing of a seven new HVAC windows.

Staff Review: It is noted that the applicant proposes a significant alteration to the property by removing the existing roof and installing a new Firestone rubber roof, specifically an EPDM roofing system. This change, while modern in material, adheres to the Excelsior Springs Historic Design Guidelines by maintaining the original roof form, ensuring the historic integrity of the structure is not compromised. The guidelines emphasize the importance of preserving the property's original architectural characteristics, and as such, it is crucial that the replacement of gutters and downspouts follows the design guidelines. The design guidelines state the replacement gutters must be similar in dimension, shape, and detailing to harmonize with the building's historical aesthetic.

The applicant proposes the replacement of the existing wood garage door with a new glass garage door. This glass garage door would align closely with the aesthetic precedent set by other properties within the Historic Districts downtown. The Historic Preservation Design Guidelines does not specifically point out

the type of garage door. By selecting a design that mirrors those found on surrounding historical properties, the applicant demonstrates a commitment to maintaining the district's architectural integrity.

The proposed installment of an exterior door that provides access to the proposed upstairs apartments, which will be located off of E Excelsior Street. In accordance with the Historic Preservation Design Guidelines, the new door installation must adhere to compatibility with the historic doors in terms of size, scale, and proportion.

The proposed removal of the existing siding on the building and replace it with material that is like in kind. This proposal aligns with the Historic Preservation Design Guidelines, which stipulate that if the siding or trim of a building is beyond repair, it should be replaced with materials that match the original in appearance, composition, and design. The guidelines further advocate for the removal of non-original siding materials, such as aluminum or vinyl, which are often inconsistent with the historical character of the building and the district.

The applicant proposes to undertake a comprehensive tuck-pointing project for the entire building. This maintenance is crucial for the longevity and structural integrity. Adherence to the Historic Preservation Design Guidelines is paramount in this process. The new mortar must replicate the original in terms of strength, composition, color, and texture. This ensures that the tuck pointing not only restores the building structurally but also maintains its historical authenticity and aesthetic appearance.

The applicant proposes to repair the damaged skim on the north side of the building, using materials that are like and kind to ensure consistency with the original structure. In line with the Historic Preservation Design Guidelines, the approach to repair rather than replace helps maintain the buildings historical integrity. The guidelines emphasize that damaged and deteriorated architectural features should be carefully patched or repaired, preferably with the same material or, if not available, with the closest possible match. This method ensures that the repairs blend seamlessly with the existing structure, preserving its historical value.

The applicant proposes to install windows in the existing window openings of the building, which are presently boarded up. The applicant would like to install similar white vinyl windows which would match the windows on the second floor of the building.

Staff Recommendation/Action Requested: City staff recommends approval of the following proposals, all in line with Excelsior Springs Historic Preservation Design Guidelines:

1. Approve the replacement of the existing roof with a Firestone rubber roof.
2. Approve the removal and replacement of the garage door.
3. Approve the addition of an exterior door for upstairs apartment access.
4. Approve the replacement of siding with a similar material.
5. Approve tuck-pointing for mortar repair on the commercial building.
6. Approve the proposed repairs to the exterior skim.
7. Approve the installation of gutters for stormwater management.

City staffs suggest an open discussion about replacing missing windows with vinyl ones in the existing openings.

Respectfully Submitted,

Shantele Frie
City Planner

Attachments:

- Exhibit A- Photographs of proposed improvements
- Exhibit B- Excelsior Springs Historic Survey
- Exhibit C- Design Guidelines for Roofs 7.5
- Exhibit D- Design Guidelines for Masonry Repairs 7.26
- Exhibit E- Design Guidelines for Wood Siding and Trim 7.27
- Exhibit F- Design Guidelines for Windows 9.22



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY

Fee: \$25.00

Date Received: 2-14-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. 24-006
Administrative ☐ HPC ☒
(for office use only)

Date: 2/13/24 Property Address: 111 N Main
Applicant: Jeff Watkins Telephone No.: 816-935-0380
Applicant's Mailing Address: 30893 W 152nd St Excelsior Springs, MO
Email: thelawboyjw@aol.com
Owner (if different from Applicant):

Historic District: ☒ Hall of Waters ☐ Elms ☐ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION

☒ NEW CONSTRUCTION

☐ SIGNAGE

☐ DEMOLITION

☐ BUILDING RELOCATION

☐ REGRADING/FILL

PAID
FEB 14 2024

BY: [Signature]

[Signature]
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED PICTURE HERE

PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

- Add 5 apartments upstairs
- Remove existing roof all the way to decking + replace with pirstone rubber roof.
- Remove garage door + install new glass door
- Add Exterior door to access apartments off of E Excelsior St
- Remove white siding + replace w/ like materials (door way)
- Tuck point building
- Scrape + Paint store front on N Main (white)
- Repair skim coat on North side of building
- Add new gutters (white)
- Add windows where missing (need pictures)
- Add 7 Hvac units (full units)
- New plumbing
- New electrical
- Replace sidewalk

7:51

86

google.com



Google Maps

Open app



34



7:51

86

google.com



Google Maps

Open app



34





Replace
with
or

Door

like Material



111 N. Main





111 N. Main



111 N. Main





EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 31

<p>1. Property name, present</p> <p>Property name, historic R.W. Pack & Co. Furniture</p> <p>2. Address/location 111-113 N. Main Street Excelsior Springs, MO 64024</p> <p>4. Owner's name and address</p> <p>5. Building ✓ Structure Site Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial</p>	<p>7. Location Map</p>
<p>3. Date of construction (or estimate) ca. 1911</p> <p>9. Changes Altered Addition Moved</p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Elements Vernacular</p> <p>13. Plan Shape Rectangle</p>	<p>14. Number of stories 2</p> <p>15. Roof type and material Flat/not visible</p> <p>16. Type of construction Masonry</p> <p>17. Exterior material(s) Brick</p> <p>18. Foundation material(s)</p> <p>19. Porch(es) n/a</p>
<p>20. Additional physical description</p>	

21. Description of environment and outbuildings This commercial building is located at the southeast corner of N. Main and E. Excelsior streets. Commercial buildings are across the street to the north, and adjoining on the south. The building fills the entire lot to the sidewalk.

22. History and significance Located on the former site of one-story frame grocery, restaurant, dwelling, and a brick dwelling. It was constructed sometime between 1909 and 1911. In 1917 through the 1920's, it housed the R.W. Pack & Co. Furniture store

23. Sources of information Sanborn maps; city directories

24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

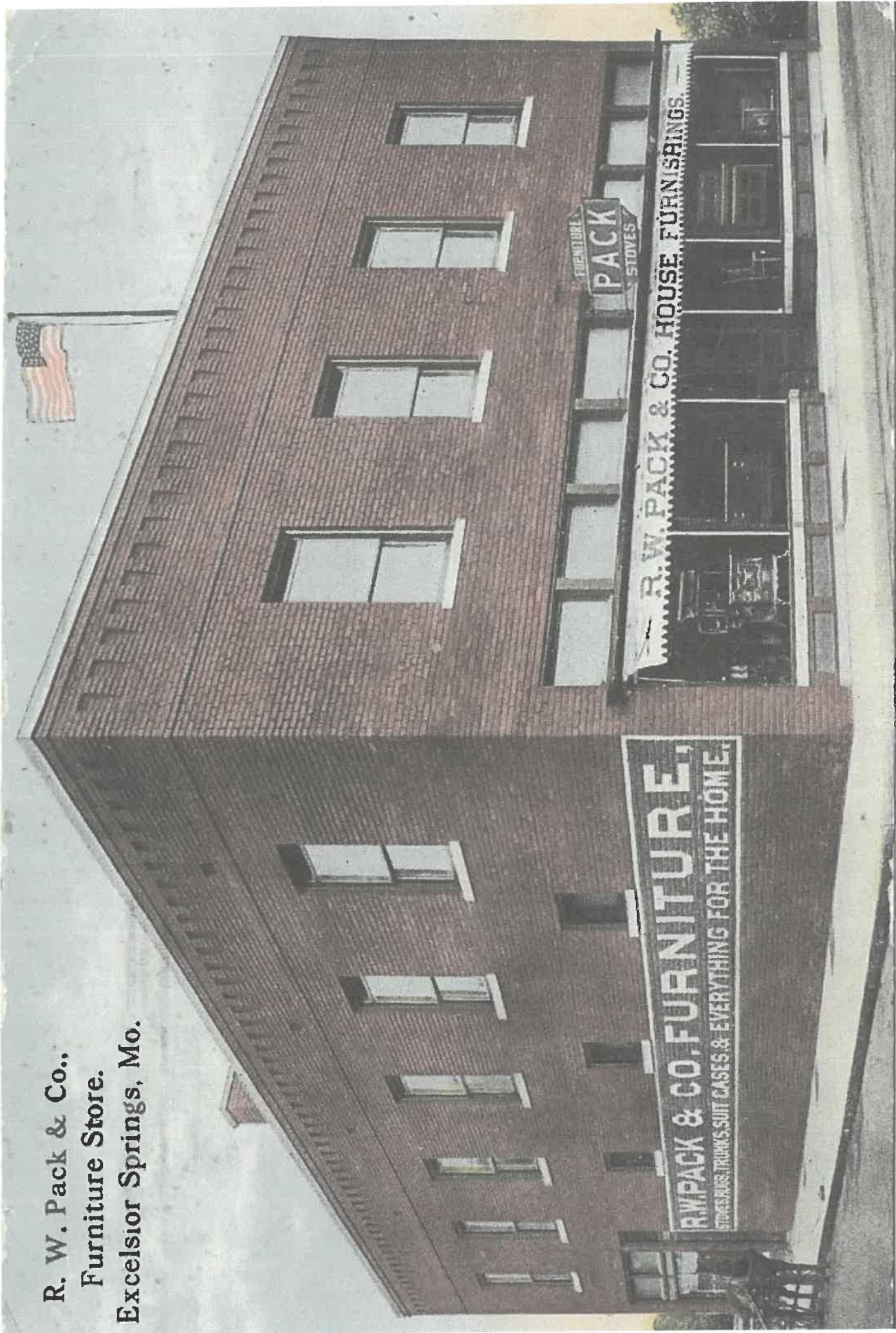
26. On National Register
Eligible for listing
Individual
District
Local designation
Eligible for local designation

27. N





R. W. Pack & Co.,
Furniture Store.
Excelsior Springs, Mo.



Guidelines for the Treatment of Historic Properties

General

- 7.1 All efforts should be taken to maintain and preserve all historic properties, including original outbuildings.
- 7.2 Historic site features, such as walkways, fences, stone retaining walls, historic landscaping, and mineral water resources, should be maintained and preserved.

Foundations

- 7.3 Repair or replacement foundations should be made using materials that will replicate the original to the greatest extent possible.
- 7.4 Concrete foundations are permitted to be painted.

Roofs

- 7.5 Original roof forms (slope, shape, orientation, and overhanging and detailing of eaves) should be preserved.
- 7.6 Original parapets and parapet caps should be preserved.

- 7.7 Use appropriate roofing materials when re-roofing. Replacement roof materials should match the color, size, texture, and look of the original roofing materials. Synthetic or substitute materials will be reviewed on a case-by-case basis to ensure the synthetic materials matches the original. Detailing of roofing terminations should be per the manufacturer's recommendation and should be historically appropriate for the building type. New synthetic or substitute materials should not be installed over the existing roofing material.
- 7.8 Original gutters and downspouts should be preserved. If replacement is required, they should be replaced in-kind, matching the original dimensions, shape, and details.
- 7.9 New gutters and downspouts should be of a compatible style of the architectural style of the historic building.
- 7.10 Existing chimneys should be maintained and preserved.
 - a. If a chimney is no longer in use, consider installing a non-visible cap to prevent water infiltration and heat loss.
- 7.11 Existing dormers should be maintained and preserved.

7.26 Masonry

- a. Masonry (brick, stone, and terra cotta) should be maintained and preserved.
- b. Damaged or deteriorated masonry units or features should be patched and repaired. The least destructive repair method should be used.



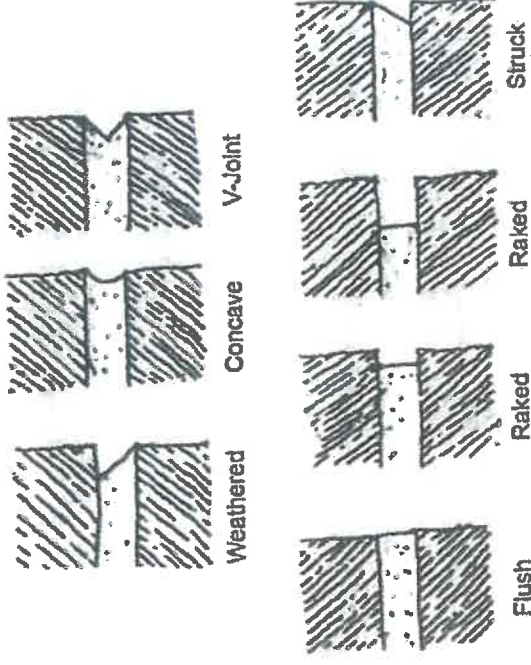
Example of deteriorated masonry and mortar. (STRATA)

- c. Damaged or deteriorated masonry units or features that are beyond repair should be replaced in-kind. If salvaged material is available, it is recommended for replacement pieces. If salvaged materials are not available, new masonry should match the material, dimension, texture, features, color, hardness, and installation methodology of the surrounding historic materials.

- d. If it is necessary to replace a large amount of masonry units, replacement materials may be used, provided they convey the same visual appearance as the historic materials. An example may be to substitute GFRC for terra cotta.
- e. Artificial masonry or stone veneer is not permitted to be installed on a historic building.
- f. Mortar
 - i. Mortar joints should be maintained and in good repair to prevent water infiltration and structural issues.
 - ii. Repoint masonry when mortar is missing or deteriorated. Do not remove sound joints in good condition.
 - iii. New repointing mortar should duplicate the original in strength (hardness) and composition. There are six standard types of mortar, but it is best to have the original mortar tested before the new mortar is made.

Mortar Type	Recommended Use
Type M	Not recommended for historic masonry.
Type S	Very hard historic granite, or near or below grade.
Type N	Historic granite, moderately hard limestone, moderately hard brick.
Type O	Limestone, moderately hard to soft brick.
Type K	Historic soft limestone and handmade brick.
Type L	Historic soft handmade brick.

- iv. New repointing mortar should duplicate the original in color and texture.
- v. Repointed joints should match the original joint's width and profile.



Typical mortar joint profiles. New mortar joints should match original joints in color, texture, and joint profile.

g. Cleaning

- i. The gentlest possible method for cleaning should be used. Test cleaning method in an inconspicuous area prior to moving forward with cleaning the entire building.
- ii. Sandblasting, abrasive cleaning, and high-pressure washing are not recommended. Water pressure for cleaning masonry should be less than 300 to 400 psi and should be no closer than 12-inches from the face of the wall.
- iii. Appropriate chemical cleaning agents may be used to clean biological growth and staining if applied correctly and approved for use on historic masonry material.



Comparison of sandblasted brick (left) to non-sandblasted brick (right). Note that is sandblasted brick is pitted, which allows increased water absorption and result in accelerated deterioration. (STRATA)

Repointing historic buildings is a skill developed with many years of experience. Repointing is best left to a qualified mason.

- h. Painting brick or stone that has not been previously painted should be avoided. Painting brick may result in trapping moisture in walls, causing deterioration of the wall system.
- i. Repainting Existing Painted Brick Buildings
 - i. Care should be taken not to damage the building further when repainting a historic brick building.
 - ii. All paint should be tested for lead, and appropriate removal, repair, or remediation action should be taken by an RRP (Renovation, Repair, and Painting)-certified contractor, per local and state guidelines.
 - iii. Scrape off loose paint by hand. It is only necessary to scrape paint to the next solid layer. Do not use an abrasive method such as sandblasting or power washing with water pressure greater than 300 psi.
 - iv. Chemical paint remover may be used if applied correctly and approved for use on historic masonry material.
 - v. Repaint building with paint that is appropriate for masonry and is "breathable" to allow moisture to escape masonry wall system. The new paint should be compatible with the existing paint.
- j. Removing Existing Paint from Brick Building
 - i. The gentlest possible method for removing paint should be used. Test removal method in an inconspicuous area prior to moving forward with removing paint from the entire building.
 - ii. All paint should be tested for lead, and appropriate removal, repair, or remediation action should be taken by an RRP (Renovation, Repair, and Painting)-certified contractor, per local and state guidelines.
 - iii. Paint stripping should be done utilizing the gentlest method available and with a product that has been proven to be safe on historic masonry.
 - iv. Chemical paint remover may be used if applied correctly and approved for use on historic masonry material.

7.27 Wood Siding and Trim

- a. Wood siding and trim should be maintained and preserved.
- b. Damaged wood siding and trim should be patched or repaired with an appropriate breathable, sandable, and paintable epoxy. The least destructive repairing and refinishing method should be used.
- c. Wood siding and trim that is beyond repair should be replaced in-kind. New materials should match the overall dimensions, thickness, profile, scale, and finish of the original.
- d. All paint should be tested for lead, and appropriate removal, repair, or remediation action should be taken by an RRP (Renovation, Repair, and Painting)-certified contractor, per local and state guidelines.
- e. Paint stripping should be done by the gentlest means possible. Do not use an abrasive method such as sandblasting or power washing.
- f. Non-original siding, such as aluminum and vinyl siding, is encouraged to be removed.

- g. Rough-sawn lumber with wood graining is not permitted for siding or trim on any historic buildings.
- h. Exposed lumber and trim should be smooth on all exposed surfaces.
- i. Cementitious siding with a smooth finish may be used on a case-by-case basis.
- j. Aluminum and vinyl replacement siding are not permitted.



Example of deteriorated wood siding, windowsill, and trim. (STRATA)

Windows

- 7.49 Original windows should be maintained and preserved.
- 7.50 Whenever possible, repair a historic window rather than replace it.
- 7.51 Do not replace an original window unless it is deteriorated beyond repair. Replacement to increase energy efficiency should be avoided.
- 7.52 Altering window openings is not recommended.
- 7.53 New windows should maintain the size, shape, placement, and configuration of the original windows. New windows should match the original glass lite and muntin configuration and visible glass size. For example, do not replace a multi-lite six-over-six double-hung window with a new single-lite casement window. The width of the muntins and tall bottom sash are also important characteristics of the historic windows.

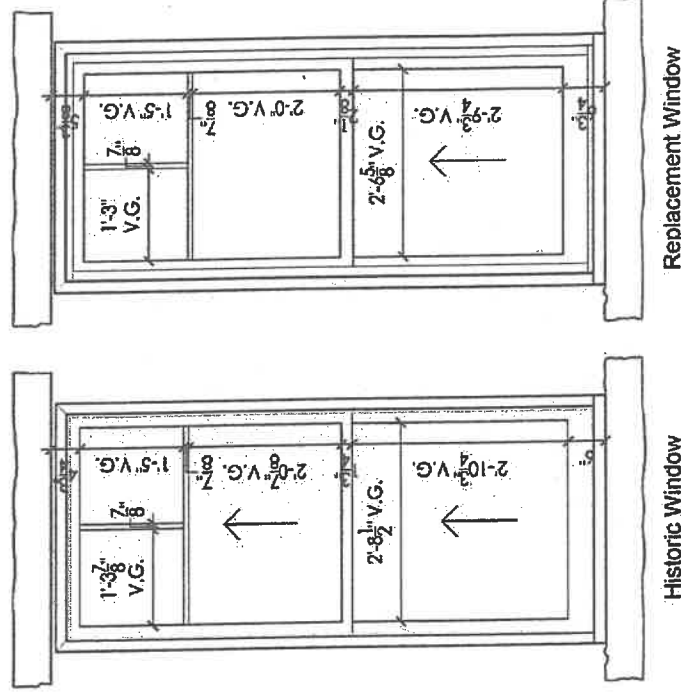
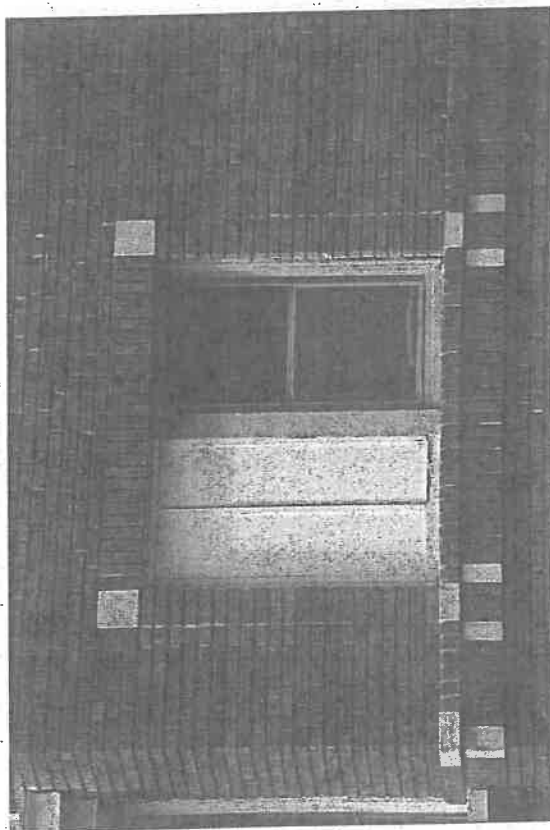


Diagram of an appropriate replacement window. The replacement window matches the original window configuration and matches dimensions of the historic window and visible glass (v.g.) to the greatest extent possible. (STRATA)



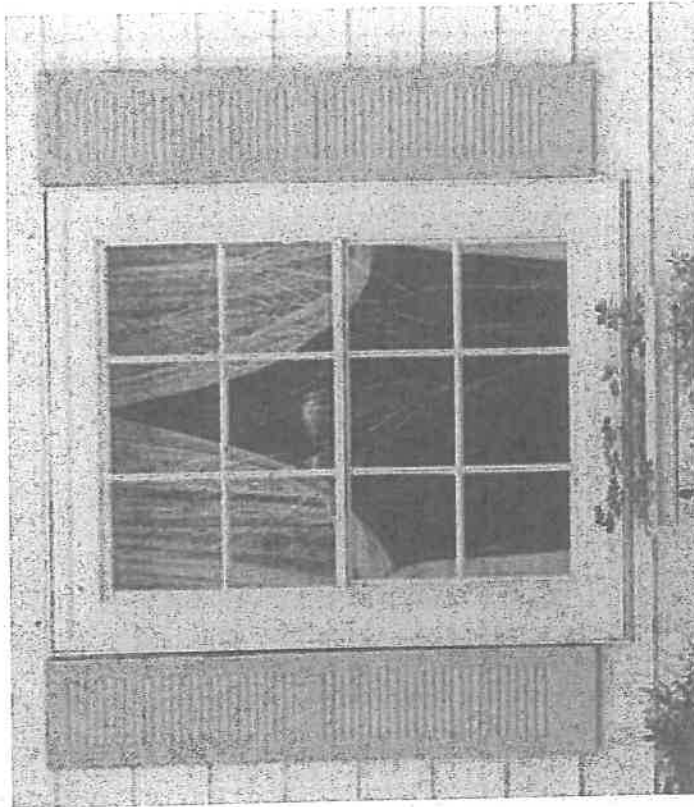
Example of an inappropriate window replacement. It is not permitted to infill an original window opening. (STRATA)

- 7.54 New wood, aluminum-clad wood, fiberglass, fiberglass-clad wood, and some vinyl windows that replicate the original windows and are compatible with the architectural style of the building may be permitted on a case-by-case basis.

- 7.55 Exterior storm windows are encouraged to protect historic wood and decorative glass windows. Storm windows should match the overall size and design/configuration of the historic windows and may be constructed with wood frames or pre-finished aluminum frames. Storm windows should not cover any significant historic trim. Highly reflective contemporary storm windows are not permitted.

Shutters

- 7.56 Shutters are not appropriate unless there is evidence that they previously existed.
- 7.57 Shutters should not be installed to give a historic building a "historic" look.
- 7.58 New shutters should match the size of the window opening and look like they function, even if they do not.



Example of inappropriate shutter installation. The shutters do not match the size of the window opening, nor do they appear as if they can function. (The Craftsman Blog)



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-007

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-007	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-007 – An application by Jesseka Meek for a Certificate of Appropriateness for installing a sign at the business located at 463 S. Thompson.

Historic District: Hall of Waters District

Background: This “multiple entries with display windows” commercial building was constructed around 1922 to 1926 and has retained much of its architectural integrity. There are seven recessed entries for the commercial businesses, and most of the transom areas have been closed down and contain the signage area for the businesses. The Historic Preservation Commission has reviewed several signage requests for businesses in this location over the years. The applicant is proposing to install a new thin metal sign for their business which will be placed on the front façade of the building. The sign will be approximately three feet tall and twenty-three feet wide with black lettering.

Staff Review: The proposed sign continues the standard size and location of the commercial signage on the building and meets the city sign standards. The location and design of the sign appear appropriate to the area.

Staff Recommendation/Action Requested: City staff finds the application is consistent with the Excelsior Springs Historic Preservation Guidelines.

Staff recommends approval of the COA application.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Attachments: Exhibit A- COA Application
Exhibit B- Photograph of Sign
Exhibit C- Excelsior Springs Historic Survey
Exhibit D- Historic Preservation Design Guideline for signage



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 2-23-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COR11AC-24-007
Administrative ☐ HPC ☒
(for office use only)

Date: 02/23/2024 Property Address: 463 S. Thompson Ave
Applicant: Jesseka Meek Telephone No.: 816-323-9192
Applicant's Mailing Address: same as above
Email: holisticspringsherbco1@gmail.com
Owner (if different from Applicant): _____

Historic District: ☒ Hall of Waters ☐ Elms ☐ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☐ Contributing ☐ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☒ SIGNAGE ☐ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

PAID
FEB 23 2024
BY: [Signature]

Jesseka Meek

Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED
PICTURE HERE



PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

We will be replacing the 3 metal faces that currently say Nurture Family Chiropractic with the same white back with black lettering sign but it will say Holistic Springs Herb Co with our logo next to it. Nothing else is changing.

SW- Colonial Revival GreenStone - paint for ~~the~~
~~trim~~ trim on front of buliding.

286" x 39" total 3 panel maxmetal faces - \$1,350.00 = tax



EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 107

<p>1. Property name, present Little Caesars, et.al.</p> <p>Property name, historic (see "History")</p> <p>2. Address/location 449-463 Thompson Ave. Excelsior Springs, MO 64024</p> <p>4. Owner's name and address</p> <p>5. Building <input checked="" type="checkbox"/> Structure Site Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial</p>	<p>7. Location Map</p> <p><i>enclaved</i> DOE <i>Commercial</i></p>
<p>8. Date of construction (or estimate) ca. 1926</p> <p>9. Changes Altered <input checked="" type="checkbox"/> Addition Moved</p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style Elements Vernacular <input checked="" type="checkbox"/> Multiple entry w/display windows</p> <p>13. Plan Shape Irregular</p>	<p>14. Number of stories 1</p> <p>15. Roof type and material Flat/not visible</p> <p>16. Type of construction Masonry</p> <p>17. Exterior material(s) Brick</p> <p>18. Foundation material(s) not visible</p> <p>19. Porch(es) n/a</p>

20. Additional physical description This long, one-story building is a "multiple entry with display windows" commercial building. There are seven storefronts with recessed entries. The central storefront, however, has two entry doors for separate shops, making a total of eight shops. The entry doors are flanked by large display windows with brick bulkheads. The transom window openings remain in a few stores, although the glass sashes themselves have been boarded over. Most of the transom areas, however, have been closed down and contain the signage for the commercial enterprise within. Two stores use the brick area above the transoms for signage. The cornice area of the roof projects outward, and has corbelled brick "brackets". Beneath these brackets are recessed brick panels in a cross shape.

21. Description of environment and outbuildings 449-463 Thompson Ave. is located at the junction of Thompson, St. Louis Ave., Elms Blvd., and Isley Blvd. Directly west is the former McCleary Clinic building, south is the former post office, and just west of the southern end of the building, in the junction of the four roads, is a recreated well gazebo.

22. History and significance This "multiple entry with display windows" commercial building was constructed between 1922 and 1926. The 1940 telephone book lists the following companies (from north to south): Courtney Electric Company, Opal Barger Beauty Shop; Bewley's Beauty Shop; Adams Drug Sundries; and Wagonner's Lunch. The current businesses, again from north to south, are: Country Lane Carpet & Rug; Tri-Sports Bike Shop; Academy of Ryuku Kempo; Furniture & More; an antiques store; Family Video; and Little Caesars pizza. The storefront alterations are minor, and the building has retained its architectural integrity.

23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book.

24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey May, 1993

26. On National Register
Eligible for listing
Individual
District ✓
Local designation
Eligible for local designation ✓

27. Negative: roll# I frame# 6

(attach black and white photograph here)



 Little Caesars

21 PIZZA
PIZZA

BIG
BIG
CHEESE
PIZZA

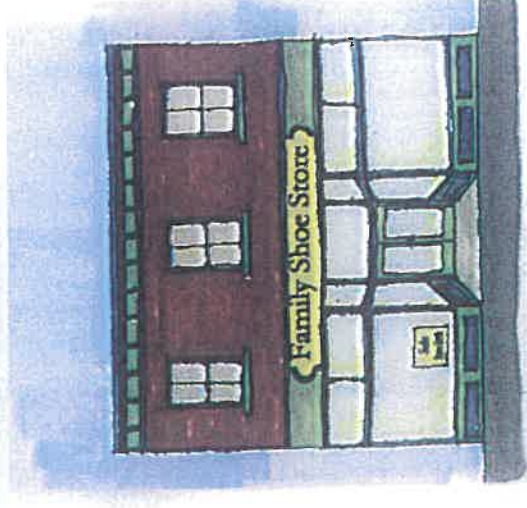
FAMILY
VIDEO

PHOTO GALLERY



Signage

- 10.20 New signs should be appropriate in size, scale, and color to the historic buildings.
- 10.21 Signs should be scaled to pedestrians rather than automobiles.
- 10.22 Signs should be visible and easy to read, but not too large so that it covers architectural elements or obscures character-defining features.
- 10.23 The color and materials of the signage should coordinate with the historic district.
- 10.24 Signage should be attached to the building in a way that is reversible without resulting in damage to the historic building and materials.
- 10.25 Permitted Sign Types
- Flush-mounted wall signs
 - Window Signs
 - Projecting Signs
- 10.26 Non-Permitted Sign Types
- Roof-mounted signs
 - Poorly made or temporary signs
- 10.27 Reference city sign ordinance for additional requirements, such as size and height above the sidewalk.



Recommended Signage Locations



Not Recommended Signage Locations



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-008

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-008	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-008 – An application by Brenda Kilgore for a Certificate of Appropriateness for replacement of windows located at 414 S. Thompson Avenue.

Historic District: Hall of Waters Historic District

Background: This large building was constructed as a showroom and garage for the Dodge Dealer in 1919. The building façade facing Thompson Avenue is a long, two-story, flat-roof brick commercial building. The openings on the first story formerly were the entire width of the bay, which, for the most part, has since been closed down with stucco. This commercial building is surrounded by a large parking lot called the "Hitch Lot."

The applicant is requesting a Certificate of Appropriateness for the project, which involves removing the cement blocks that are presently obstructing the original window openings. This project also encompasses the elimination of the small windows located on the second floor. The applicant intends to restore the original window opening by installing windows that match those on the first floor.

Staff Review: The applicant proposes to restore the original window openings, which have been obstructed with cement blocks. The Historic Preservation Design Guidelines advocate for the restoration of previously covered or infilled storefront systems using materials that match the existing building or are consistent with the historic districts character. The proposal aims to reinstate the original windows, ensuring adherence to these preservation standards.

Staff Recommendation/Action Requested: Staff recommends approving the application for the removal of the cement blocks and the replacement of the windows with ones that are similar to the original design.

Respectfully Submitted,

Shantele Frie
City Planner
City of Excelsior Springs

Attachments: Exhibit A- COA Application
Exhibit B- Photograph of existing windows
Exhibit C- Photograph of a mock-up with the proposed windows
Exhibit D- Excelsior Springs Historic Survey
Exhibit E- Historic Preservation Design Guidelines Storefronts 7.64



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 3-1-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-008
Administrative ☐ HPC ☒
(for office use only)

Date: 3/1/24 Property Address: 414 S. Thompson Ave
Applicant: Brenda Kilgore Telephone No.: 816 519 0586
Applicant's Mailing Address:
Email: bkilgore850@gmail.com
Owner (if different from Applicant): Mark & Brenda Kilgore
Historic District: ☒ Hall of Waters ☐ Elms ☐ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

☒ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☐ SIGNAGE ☐ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL


Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official

AFFIX PROJECT RELATED
PICTURE HERE

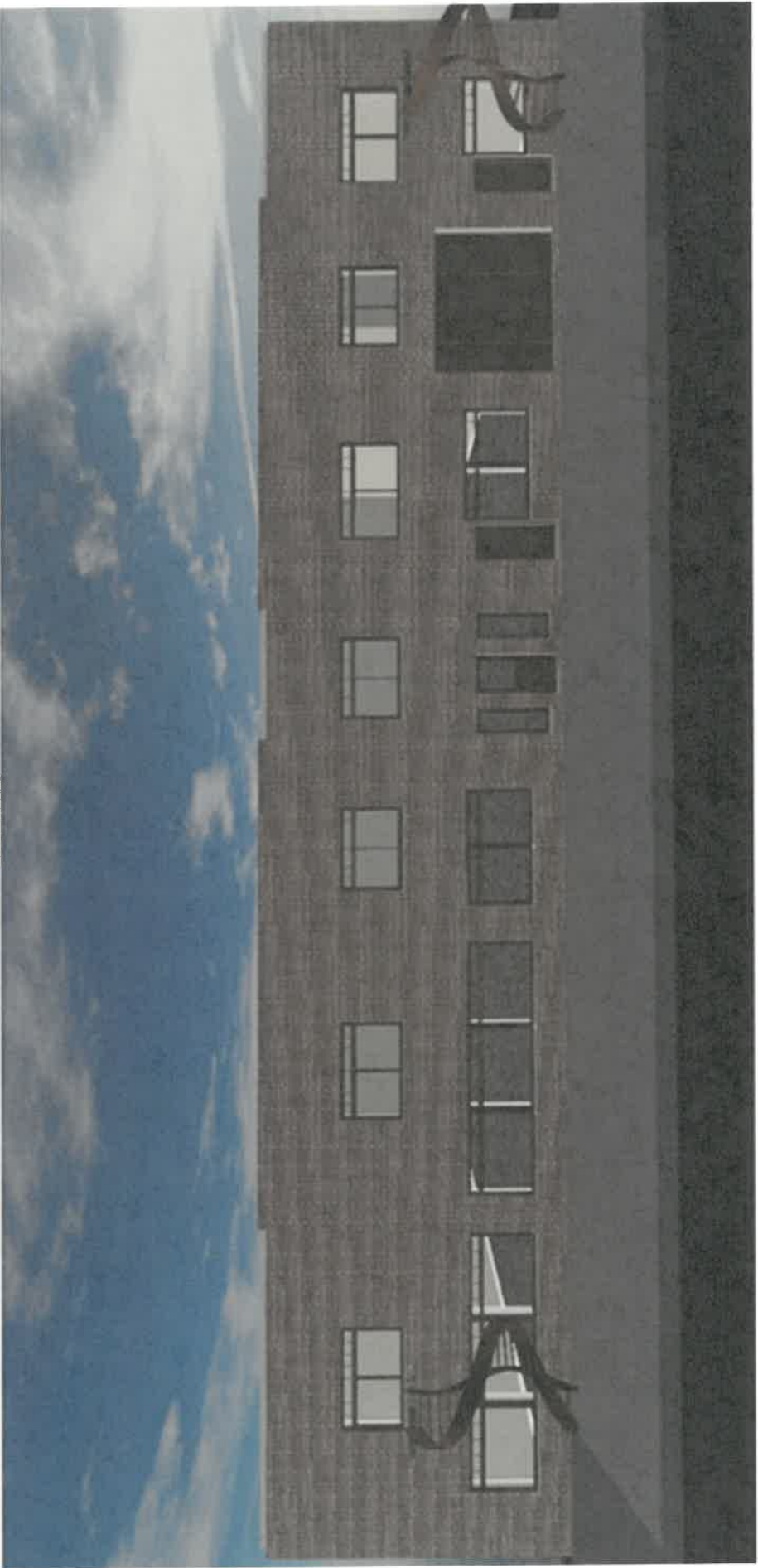
PROJECT DESCRIPTION: Describe, in detail, the work to be performed. Attach additional sheets if necessary.

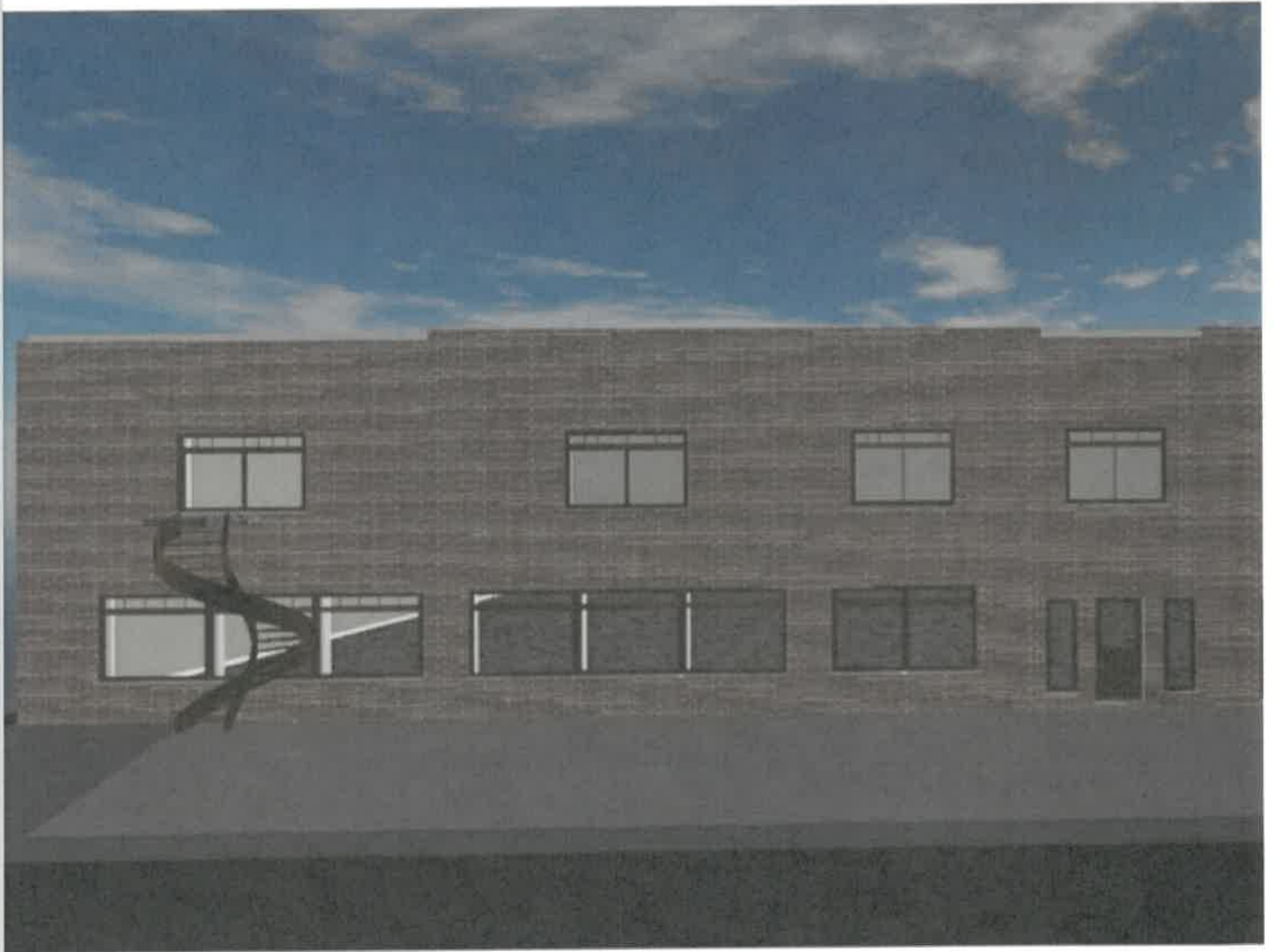
Remove cement blocks & tiny
windows and replace w/
matching windows to the
downstairs.





DAY AND NIBBEL GARAGE, EXCELSIOR SPRINGS, MO. Harry L. Silvers, Proprietor





EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 116

030 000 090

1. Property name, present Dave's Body Shop	7. Location Map
Property name, historic [Silvers Garage;] Springs Motor Co.	
2. Address/location 414 Thompson Ave. Excelsior Springs, MO 64024	
4. Owner's name and address Leonard H. Jones P.O. Box 12465 N. Kansas City, MO 64116	
5. Building <input checked="" type="checkbox"/> Structure Site <input type="checkbox"/> Object	
6. Use, present Commercial	
Use, original Commercial/automotive COE 14D 01B	
8. Date of construction (or estimate) ca. 1919	14. Number of stories 2
9. Changes COE Altered <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Moved <input type="checkbox"/>	15. Roof type and material 5+ V+ Flat & double vault/not visible & rolled sheeting
10. Architect/engineer/designer	16. Type of construction Masonry 14D
11. Contractor/builder/craftsman	17. Exterior material(s) Brick & stucco 30 41 (like 30)
12. Style: High Style Elements Vernacular <input checked="" type="checkbox"/> 49	18. Foundation material(s) Concrete 65
13. Plan Shape Irregular 12.	19. Porch(es) n/a

20. Additional physical description This large building was constructed as a show room and garage for the Dodge dealer. Facing Thompson Ave. is a long, two-story, flat roof brick commercial building. This section is six bays wide, and one bay deep. The bays on the southeast elevation (facing Thompson) are demarcated by recessed brick panels rising two stories, and topped with corbelled brick crowns. The openings on the first story formerly were the entire width of the bay, but (for the most part) have since been closed down with stucco. One bay has a metal garage door, and a few others have either a window or door. The second story former had a large square window opening with stone sill. These too have been closed down with stucco panels, and retain a small casement window with a row of small, fixed lights beneath. The second story window on the north elevation is original, retaining its multi-light, paired casement windows with arched brick opening. Attached to the rear of the building is a large, two-story concrete and brick section with a double vault roof. Due to the drop in elevation to the north, it appears to have an exposed basement level with an additional story above. This section has concrete piers dividing it into bays. Each story has a panel with brick on the lower quarter, and concrete block infill on the upper three-quarters. Some bays have multi-light windows inset within the concrete block panels. There is a garage door in the center of the basement level, a door to the east, and another door on the second level with steps leading upwards. The vaulted roofs have a brick parapet edge.

21. Description of environment and outbuildings The front portion of the building acts as a commercial building, and faces onto Thompson Ave., a linear commercial district. The elevation drops off considerably from Thompson to the north. The rear portion of the building is surrounded by a large parking lot, part of which is still referred to as the "Hitch lot".

22. History and significance Silvers Garage was constructed around 1919, and at the time was the largest Dodge/Chrysler dealership west of the Mississippi River. The Silvers family owned the building, but other entrepreneurs ran the auto dealerships. It contained an automobile showroom, garage for repair, and gas pumps out front along Thompson (Texaco in the 1950's). The upstairs of the front portion of the building had apartments. Mrs. Silvers, who was responsible for Missouri car licenses as well, lived upstairs. The last motor company in the building closed in 1976, although the rear portion continues to be used for auto repair. It is the largest building of its kind in Excelsior Springs, and probably in the county. It retains a good degree of architectural integrity.

23. Sources of information Sanborn maps; city directories; 1940 Excelsior Springs Telephone Book. Interview w/ Cecil Brunke.

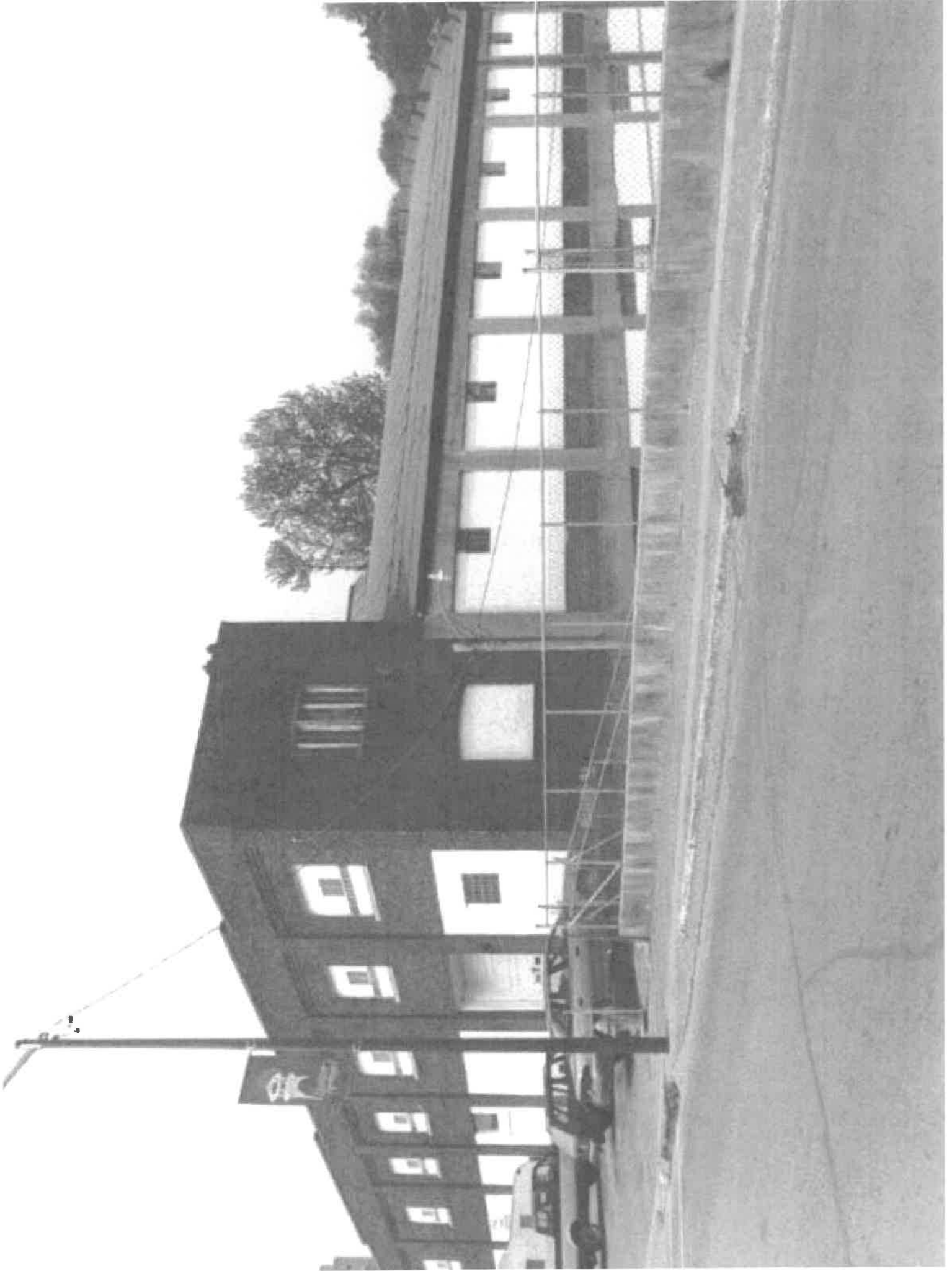
24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

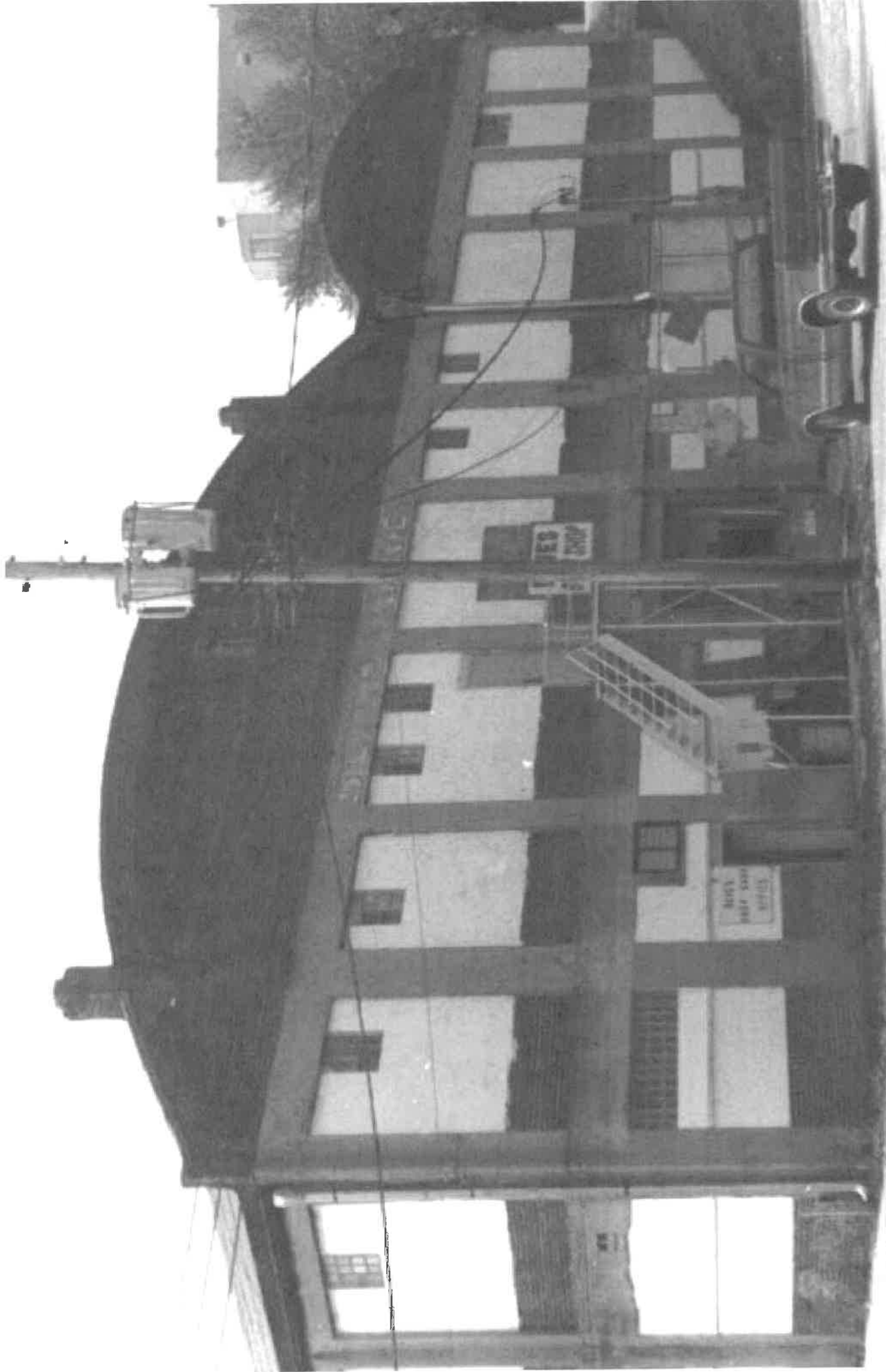
25. Date of survey May, 1993

26. On National Register
Eligible for listing
Individual ✓
District
Local designation
Eligible for local designation ✓

27. Negative: roll# J frame# 38, 44

(attach black and white photograph here)





Windows

- 7.49 Original windows should be maintained and preserved.
- 7.50 Whenever possible, repair a historic window rather than replace it.
- 7.51 Do not replace an original window unless it is deteriorated beyond repair. Replacement to increase energy efficiency should be avoided.
- 7.52 Altering window openings is not recommended.
- 7.53 New windows should maintain the size, shape, placement, and configuration of the original windows. New windows should match the original glass lite and muntin configuration and visible glass size. For example, do not replace a multi-lite six-over-six double-hung window with a new single-lite casement window. The width of the muntins and tall bottom sash are also important characteristics of the historic windows.

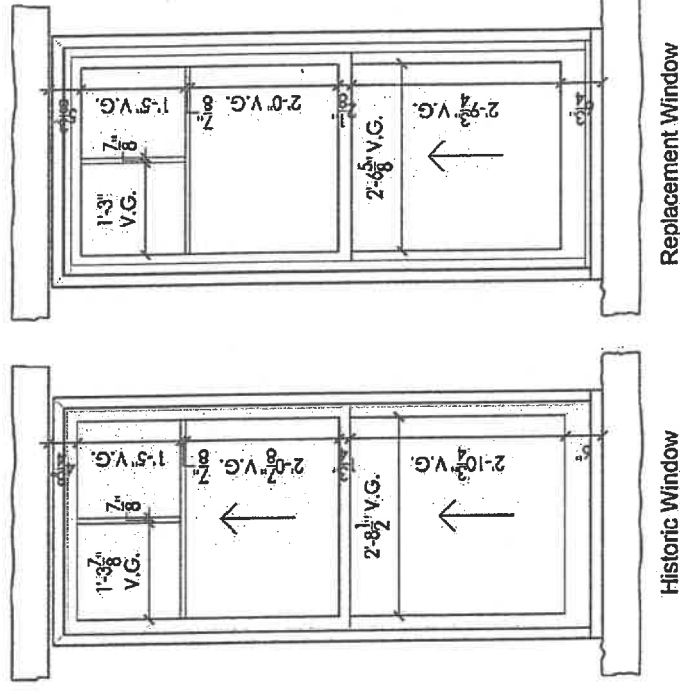
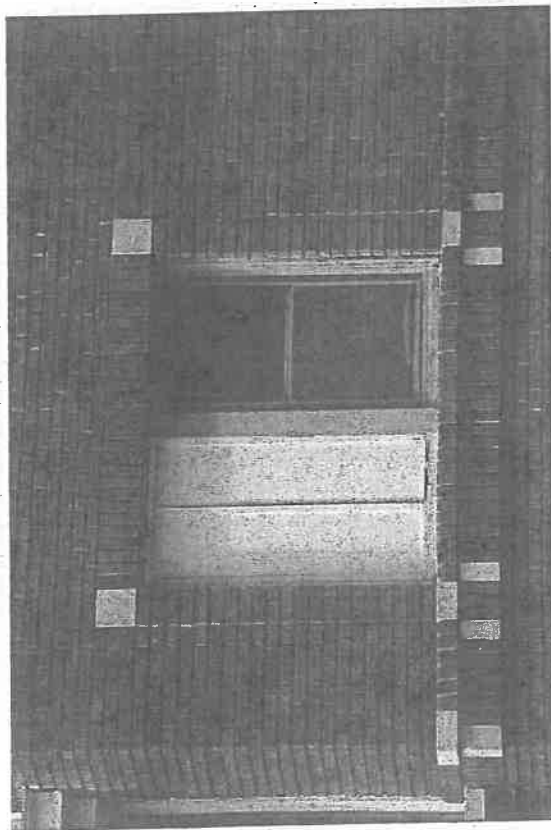


Diagram of an appropriate replacement window. The replacement window matches the original window configuration and matches dimensions of the historic window and visible glass (v.g.) to the greatest extent possible. (STRATA)

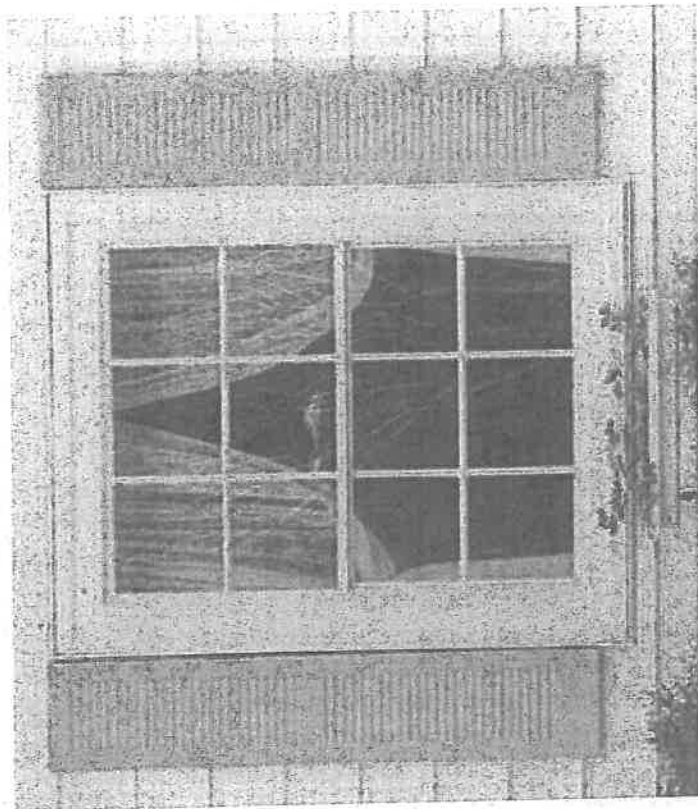


Example of an inappropriate window replacement. It is not permitted to infill an original window opening. (STRATA)

- 7.54 New wood, aluminum-clad wood, fiberglass, fiberglass-clad wood, and some vinyl windows that replicate the original windows and are compatible with the architectural style of the building may be permitted on a case-by-case basis.
- 7.55 Exterior storm windows are encouraged to protect historic wood and decorative glass windows. Storm windows should match the overall size and design/configuration of the historic windows and may be constructed with wood frames or pre-finished aluminum frames. Storm windows should not cover any significant historic trim. Highly reflective contemporary storm windows are not permitted.

Shutters

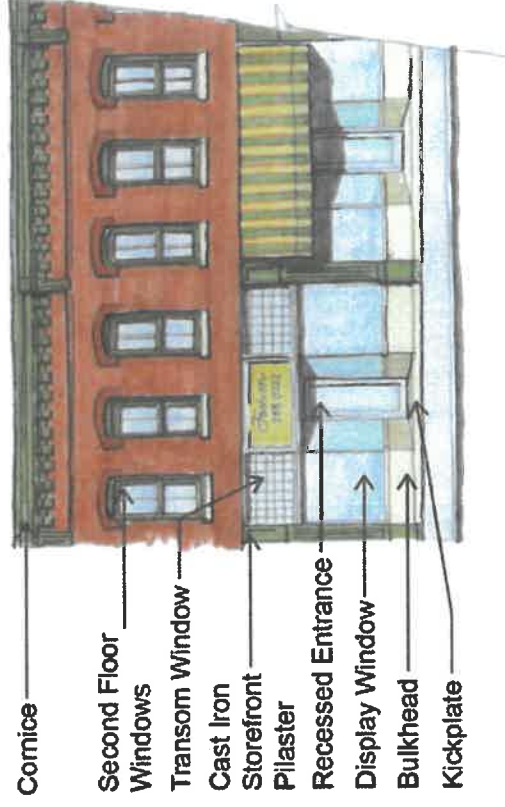
- 7.56 Shutters are not appropriate unless there is evidence that they previously existed.
- 7.57 Shutters should not be installed to give a historic building a "historic" look.
- 7.58 New shutters should match the size of the window opening and look like they function, even if they do not.



Example of inappropriate shutter installation. The shutters do not match the size of the window opening, nor do they appear as if they can function. (The Craftsman Blog)

Storefronts

- 7.59 Historic storefronts should be maintained and preserved.
- 7.60 Damaged storefront elements should be repaired. The least destructive repairing and refinishing method should be used.
- 7.61 Storefront elements that are beyond repair should be replaced in-kind.
- 7.62 Replacement storefronts should be compatible with the historic building and historic district. Replacement storefronts should maintain the dimension, pattern, and scale of the original. Replacement storefront should be appropriate for the style and age of the building.
- 7.63 Do not cover or infill any portions of the storefront system.
- 7.64 Previously covered or infilled storefront systems are encouraged to be restored with new transoms that match the existing transoms on the building or within the historic district.
- 7.65 Do not replace a storefront with a system that gives a false historic appearance.
- 7.66 Rough-sawn lumber is not permitted storefront wood trim.



Storefront System Terminology Diagram. (STRATA)



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-009 for 237 E. Broadway

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-009 for 237 E. Broadway	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-009 – An application by the City of Excelsior Springs for a Certificate of Appropriateness for demolition of the building at 237 E Broadway.

Historic District: Hall of Waters

Background: This simple, one-part commercial block has a limestone veneer on the front elevation. The entry door is on the east side of the front elevation, and has an aluminum and glass storm door. The west elevation has triple tall, narrow, fixed sash window and are slightly recessed. This building was constructed between 1905 and 1908, and served for many years as the real estate office T.S. McMullen. The front elevation of this building has been altered from its original appearance.

The applicant seeks approval for the demolition of the structure located at 237 E Broadway. It is important to note that this building does not contribute to the historical significance of the district. The ongoing redevelopment initiatives in the surrounding area are focused on preserving numerous historic buildings; however, the proposed plan requires the removal of this particular structure. A comprehensive structural engineering report has been submitted to city staff, concluding that the building is structurally compromised and warrants demolition.

Staff Review: The inspection of the building revealed several critical structural issues. The east exterior wall is notably bowing outward, and the interior inspection showed that the ground floor framing relies heavily on makeshift “temporary” supports, which are inadequate. This has resulted in the floor sloping significantly towards the east wall, exacerbating the bowing issue. Additionally, the north wall exhibits inward bowing and has been ineffectively braced to the floor structure, which is not equipped to handle the transferred loads. Compounding these problems is water infiltration behind the east wall’s stucco, leading to damage in the structural brick beneath. The north wall’s stucco is also compromised, with horizontal cracks suggesting possible corrosion of the structural header above the storefront, while the brick veneer shows cracks and displacement pointing to underlying structural concerns.

These conditions have led to the building being deemed structurally unsafe and uninhabitable, with a structural engineer confirming the risk to occupants and the adjacent building during a visit on February 16. The proximity of the structure, standing less than 12 inches from the neighboring building but not sharing an exterior wall, heightens the concern. The estimated cost for necessary repairs to address these structural issues is projected to be around \$300,000 or more, contingent on the state of the east exterior brick veneer wall. The cumulative effect of these deficiencies underscores the urgent need for remediation to ensure safety. The process of demolition of this

structure will need to be pursued through City Code for Dangerous Buildings since the city does not own this building.

Staff Recommendation/Action Requested:

Staff recommends approval of the application.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Attachments:

Exhibit A-COA Application

Exhibit B- Excelsior Springs Historical Survey

Exhibit C- Excelsior Springs Historic Design Guidelines for Demolition



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 3-1-2024

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC 24-009
Administrative ☐ HPC ☒
(for office use only)

Date: 3-1-2024 Property Address: 237 E Broadway
Applicant: City of Excelsior Springs Telephone No.: 816-630-0756
Applicant's Mailing Address: 201 E Broadway
Email: permits@excelsiorsprings.gov
Owner (if different from Applicant): _____

Historic District: ☒ Hall of Waters ☐ Elms ☐ Boarding House ☐ Local Landmark
• Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
• If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☐ Contributing ☒ Non-contributing ☒ Commercial ☐ Residential

Type of work proposed (Check applicable categories)

<input type="checkbox"/> EXTERIOR ALTERATION	<input type="checkbox"/> NEW CONSTRUCTION
<input type="checkbox"/> SIGNAGE	<input checked="" type="checkbox"/> DEMOLITION
<input type="checkbox"/> BUILDING RELOCATION	<input type="checkbox"/> REGRADING/FILL

Melinda G. McHenry
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official



PRINCIPALS

President
Christopher A. Beverlin, P.E.

Clark A. Basinger, P.E.
Michael J. Falbe, P.E.
Richard C. Crabtree, P.E.
Wayne E. Davis, P.E.
Jeffrey L. Wright, P.E.
Christopher W. Boos, P.E.
Brandon M. Ford, P.E.
Steven J. Brooks, P.E.
Ryan M. Hagedorn, P.E.

Administrative Manager
James M. Spena

February 28, 2024

Melinda Mehaffy
Economic Development Director
201 E. Broadway
Excelsior Springs, Missouri 64024

Re: 237 Broadway
Excelsior Springs, Missouri

Dear Ms. Mehaffy,

As requested, we visited the site to review the condition of the existing structure.

During our visit to 237 Broadway Avenue Excelsior Springs, MO we discovered many conditions of structural safety.

The east exterior wall exhibits an outward bow. Upon entry it was observed that the ground floor framing is shored throughout with inadequate "temporary" shores. The floor is significantly sloped toward the east exterior wall with the bowing. The north exterior wall is "braced" to the floor structure due to inward bowing. These braces are not effective. Further, if they were effective, they translate the load they are resisting to floor framing which is incapable of resisting such loading. Water is getting behind the stucco on the east elevation and is causing damage to the underlying structural brick.

The north exterior wall stucco is horizontally cracked, indicated the exterior header above the storefront may be corroding. Brick veneer at the north elevation is cracked and displacement alluding to the same.

We find these conditions render the building structural unsafe and uninhabitable. Based on our experience we believe the cost to repair these structural conditions to be on the order of \$300,000 or more depending on the condition of the east exterior brick veneer wall.

Attached to this report are photos we took while on site.

Sincerely,

BOB D. CAMPBELL & CO., INC.
Structural Engineers

Clark A. Basinger, P.E., LEED AP



CB
Enclosure
cc: File /EXCEL2402







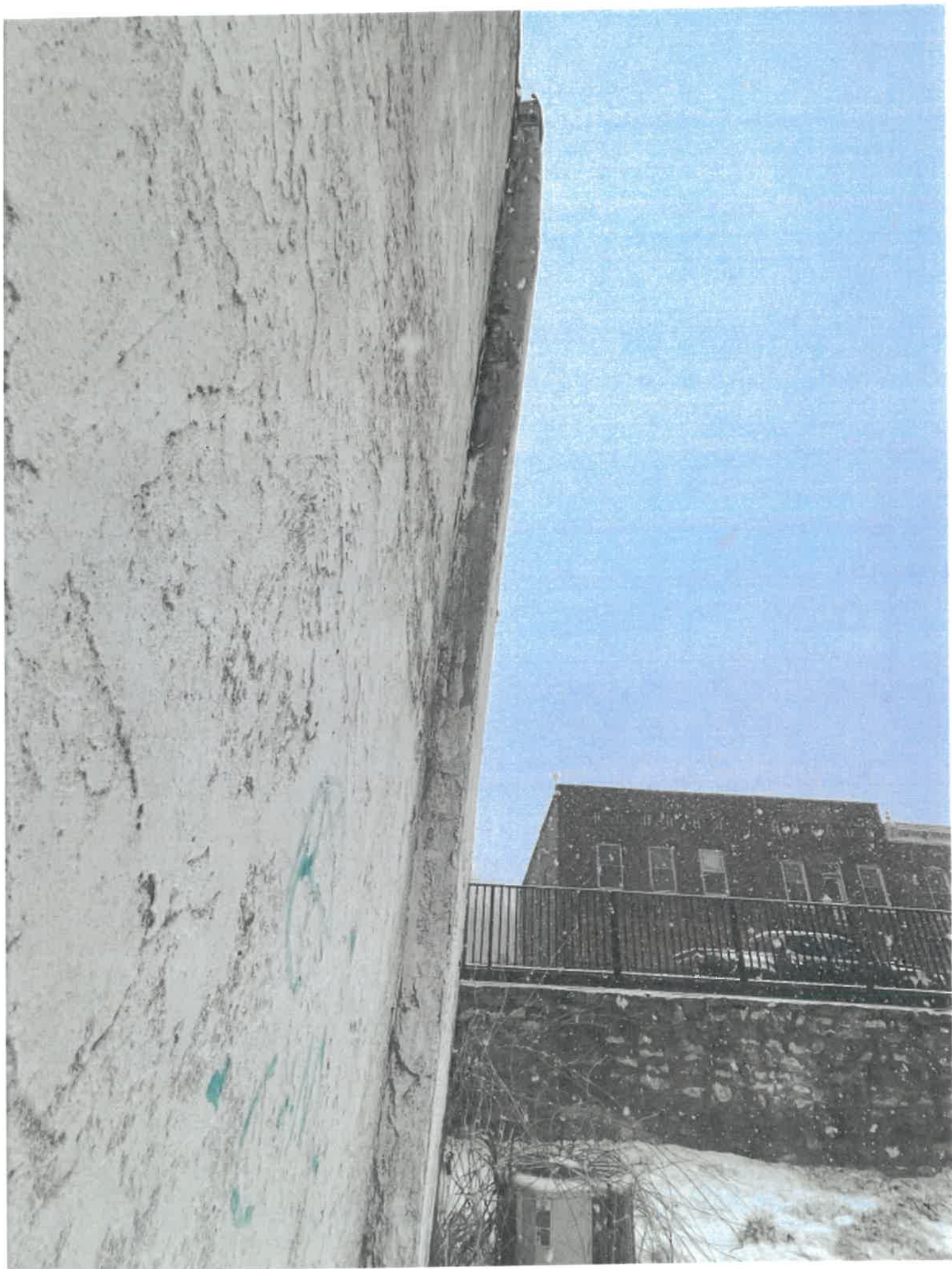


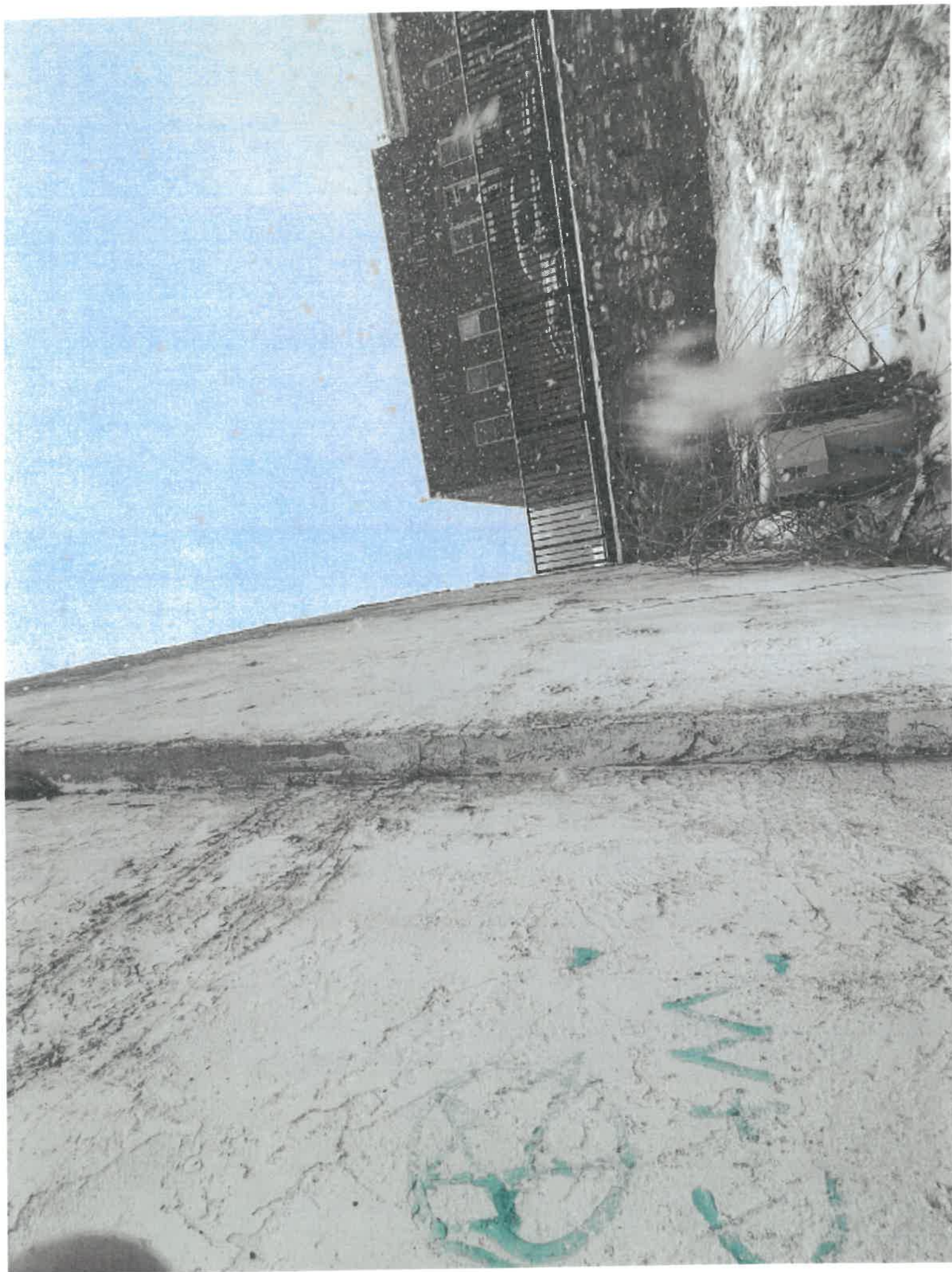














EXCELSIOR SPRINGS HISTORIC RESOURCES

Resource No. 77

<p>1. Property name, present</p> <p>Property name, historic McMullen Real Estate 237 East Broadway Street Building</p> <p>2. Address/location 237 E. Broadway Excelsior Springs, MO 64024</p> <p>4. Owner's name and address Barry W. Johnson 1206 Hwy. 92 Excelsior Springs, MO 64024</p> <p>5. Building <input checked="" type="checkbox"/> Structure Site <input type="checkbox"/> Object</p> <p>6. Use, present Commercial</p> <p>Use, original Commercial <i>DOE</i></p>	<p>7. Location Map</p>
<p>8. Date of construction (or estimate) ca. 1908</p> <p>9. Changes <i>DOE</i> Altered <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Moved <input type="checkbox"/></p> <p>10. Architect/engineer/designer</p> <p>11. Contractor/builder/craftsman</p> <p>12. Style: High Style One-part commercial block Elements Vernacular <input checked="" type="checkbox"/> <i>64</i></p> <p>13. Plan Shape Rectangle <i>ec</i></p>	<p>14. Number of stories 1</p> <p>15. Roof type and material Flat/not visible <i>Ft 99</i></p> <p>16. Type of construction Masonry <i>wd</i></p> <p>17. Exterior material(s) Stone veneer <i>99</i></p> <p>18. Foundation material(s) <i>01</i></p> <p>19. Porch(es) n/a</p>

20. Additional physical description This simple, one-part commercial block has a limestone veneer on the front (north) elevation. The entry door is on the east end of the front elevation, and has a aluminum & glass storm door. To the west are triple tall, narrow, fixed sash windows. The windows are slightly recessed, and have large cut stone sills. A band of stucco runs the length of the front elevation at the lintels of the door and windows, and then down the east side of the front.

21. Description of environment and outbuildings 237 E. Broadway is at the east end of a group of commercial buildings, set within a linear commercial district. To the east is a vacant lot, which drops off considerably in elevation from the level of the street.

22. History and significance This simple one-part commercial building was constructed between 1905 and 1908, and served for many years as the real estate office for T.S. McMullen. There were numerous real estate offices in Excelsior Springs, undoubtedly in hopes of selling lots to the numerous visitors to town. Many real estate offices were on the second stories of commercial buildings. The front elevation has been altered from its original appearance.

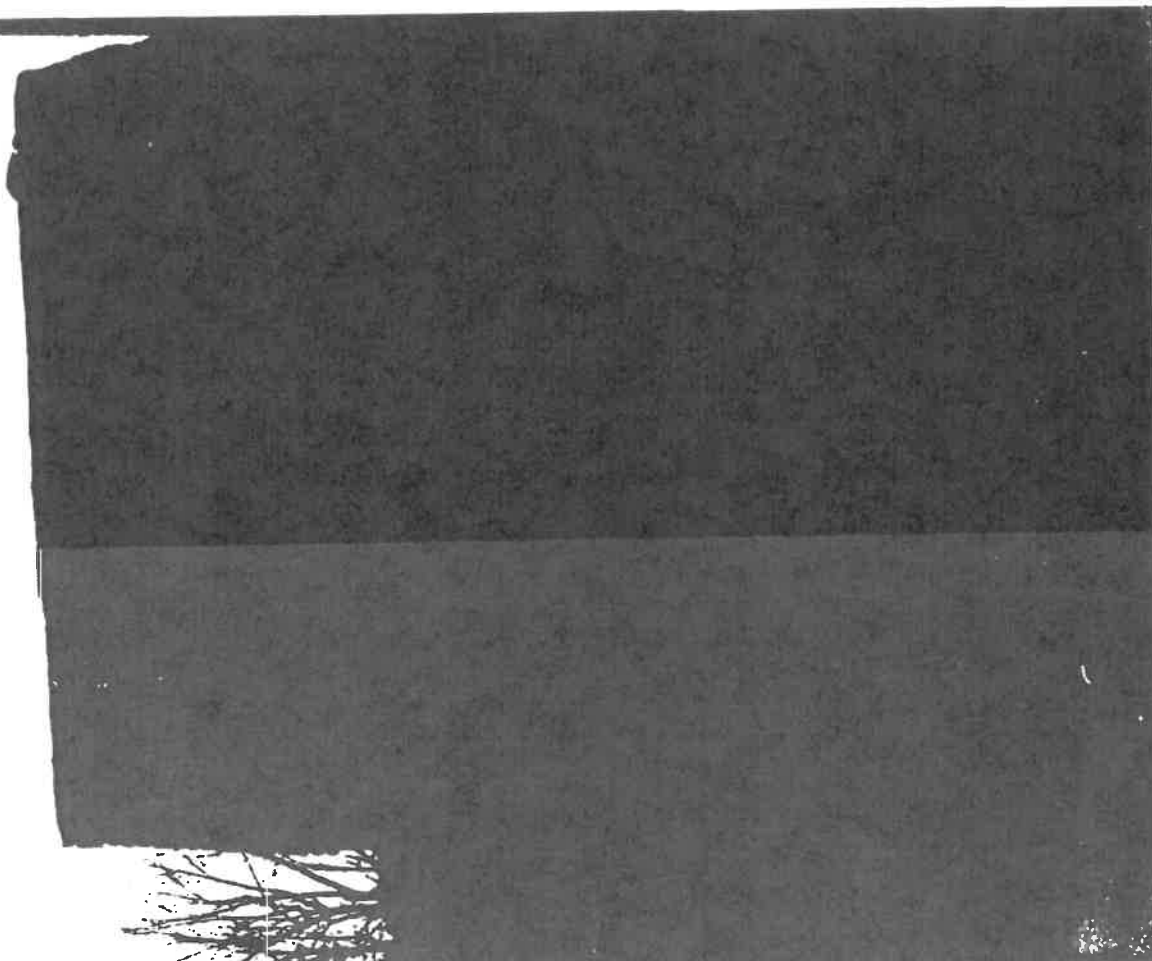
23. Sources of information Sanborn maps; city directories.

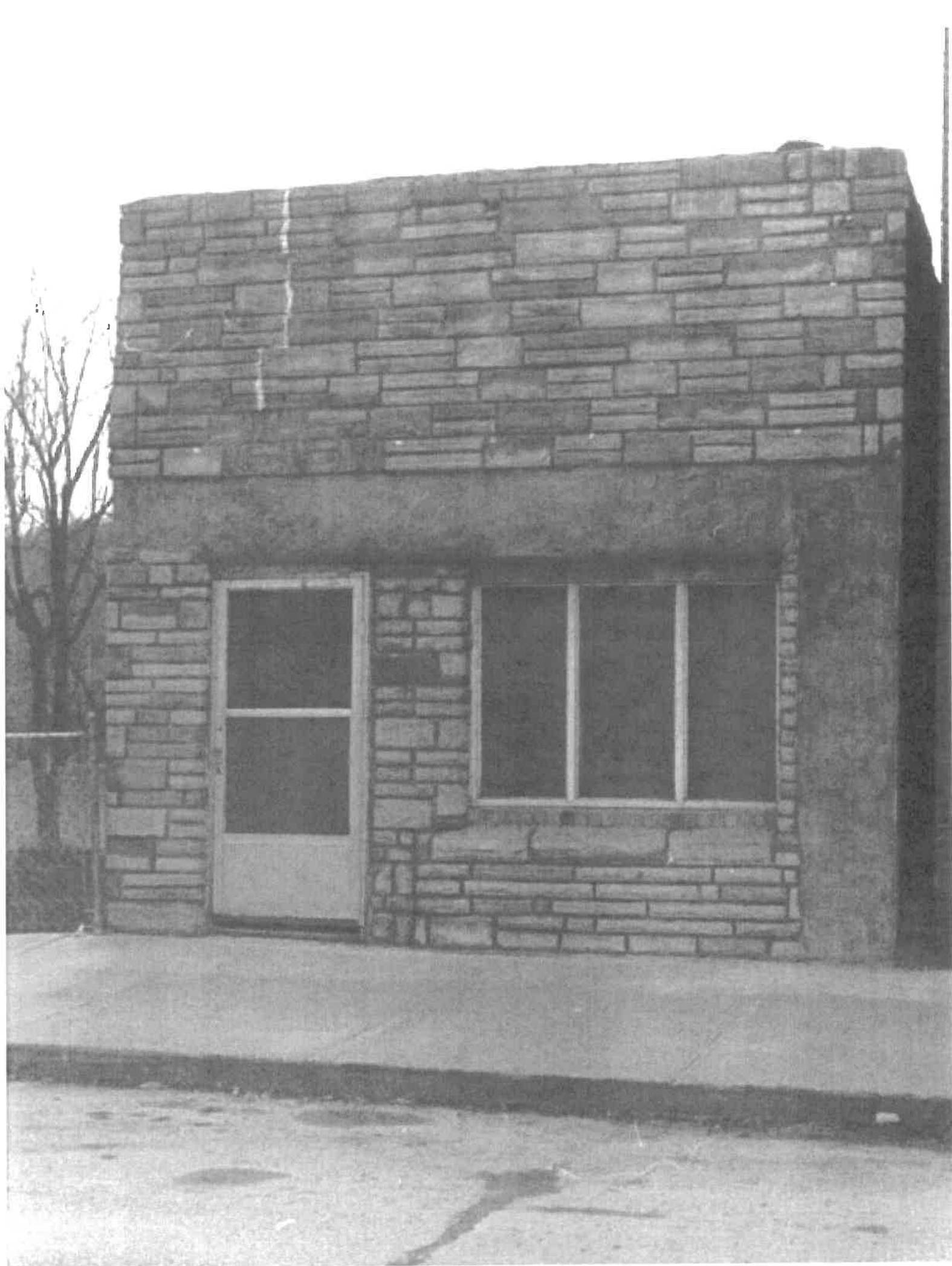
24. Prepared by
Deon Wolfenbarger
Three Gables Preservation
9550 NE Cookingham Drive
Kansas City, MO 64157

25. Date of survey January, 1993

26. On National Register
Eligible for listing
Individual
District
Local designation
Eligible for local designation

27. Negative: roll# A frame# 32





Chapter 11 | Guidelines for Demolition

The decision as to whether or not to demolish a historic building is tough, and in most cases, there are several different factors that need to be considered before any decision is made. Demolition requests for buildings and structures within the locally designated historic districts or of an individual local landmark always require a review by the Historic Preservation Commission prior to the issuance of a permit.

Each demolition will be evaluated on a case-by-case / property-by-property basis by the Historic Preservation Commission.

Remember: Requests for demolition of a building within the historic district or of an individual local landmark are required to be reviewed by the HPC prior to any work being completed.

Guidelines for Demolition

11.1 Minor demolition is allowed if there is evidence that the addition or accessory structure is not original to the property or if it does not contribute to the character or historic integrity of the property. Examples of this include, but are not limited to:

- The demolition of non-original additions on the primary façade of a historic building that hides or blocks the original façade. This is allowed to be done in order to restore the original façade of the building footprint.
- The demolition of a non-original garage that is not historic in its own right, which is attached to the side of a historic building.
- The demolition of a non-original freestanding garage.
- The demolition of a non-original second floor addition to allow for the original roofline to be reconstructed.

The Historic Preservation Commission cannot override a decision by the Building Official to demolish a building or structure that possess life or safety issue.

If a building/structure is tagged for an "emergency demolition," meaning an immediate threat to the public's safety and in imminent danger of collapse, no Historic Preservation Commission review is required.

11.2 Demolition of a historic building, outbuilding, or accessory structure is not permitted without cause. Deterioration caused by neglect or lack of routine maintenance by the existing owner does not provide grounds for the approval of demolition. Demolition will only be considered in the following cases:

- The historic structure is so deteriorated that it is no longer safe to occupy, and the building is a life safety threat for occupants or adjacent historic buildings. It is the property owner's responsibility to provide proof of the lack of structural stability or evidence of severe deterioration. This should be done by submitting a structural engineering report from a qualified structural engineer.
- The historic structure has been substantially damaged in a fire or natural disaster. It is up to the property owner to show proof of the lack of structural stability or evidence of severe deterioration.

Demolition will NOT be considered in the following cases:

- Demolishing a building in order to have the lot to construct a new building.
- Demolishing a building or outbuildings for a new building addition on an adjacent structure.



Example of historic building demolition. Historic buildings are not permitted to be demolished without cause. (News Tribune)

11.3 If a historic building or a portion of a historic building is to be demolished, all historic materials from the building should be salvaged to the greatest extent possible.

11.4 If a historic building is temporarily not in use and sitting vacant, the building should be mothballed – to temporarily secure a building with coverings to protect it from weather and vandalism, while providing adequate security and ventilation.

Demolition by Neglect

Demolition by Neglect is caused when a property owner intentionally allows a historic property to severely deteriorate, potentially beyond the point of repair. This not only applies to houses and commercial buildings within the historic district but the outbuildings, barns, carriage houses, garages, retaining walls, etc.

- The intentional withholding of basic maintenance and repair of any building is prohibited.
- Demolition by neglect by the existing owner does not provide grounds for approval of a demolition permit.

The City is willing to consider any suggestions for temporary or long-term repairs for buildings that are falling into disrepair so long as the solutions adequately address the ongoing damage and deterioration. The City's maintenance ordinance provides guidance on what is considered maintenance and timeframe for compliance.

Property Maintenance Ordinance Section 235 –
<https://ecode360.com/29304444>



Example of demolition by neglect. (STRATA)



Example of demolition by neglect. (STRATA)

Mothballing

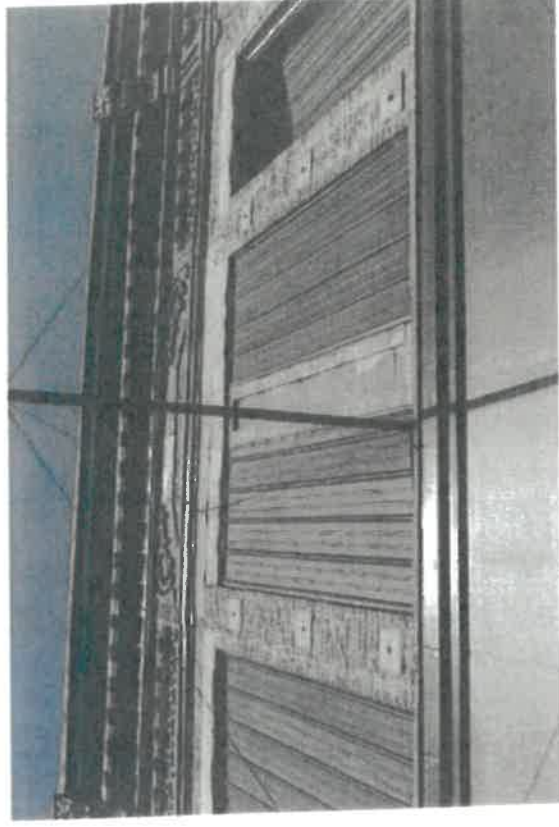
Mothballing is to temporarily close-up a building to protect it from the weather as well as to secure it from vandalism. It can be a necessary and effective means of protecting a building while raising money and planning for a building's future. The following are recommendations for mothballing:

- The lack of attention should not result in the further deterioration of the building or its character-defining features.
- Regularly check the mothballed building for leaks and structural deterioration.
- Cover all windows and doors with a temporary covering (plywood or metal). The coverings should fit tightly within the frame on the exterior of the building and should be painted to protect the material from deterioration. When installing the coverings, avoid unnecessary screws, nails, or other fasteners into historic exterior wood siding or masonry.
- Install adequate ventilation (mechanical fans or louvered vents through windows) to provide fresh air throughout the building.
- Check the condition of the roofing and flashing to ensure they are in good condition, properly draining water, and not leaking. Make necessary repairs to the roofing system to stop all water leaks.



Example of temporary mothballing treatment. Note the mixture of good and poor mothball treatments. The door and a few of the windows (as noted with red arrows) are covered with painted, tight-fitting plywood, which will protect the building from vandalism and weather. The raw plywood has a gap between the pieces of plywood, which will allow water into the building, and two of the windows are not covered, which could be broken. (STRATA)

- Check the condition of the gutters and downspouts to ensure they are in good condition, draining water, and not leaking. Make necessary repairs to the drainage system to stop all water leaks. Regularly clean all gutters and downspouts.
- Review the condition of the exterior finish materials (wood siding, masonry, trim, fascia, and soffits) to confirm the material is not severely deteriorated. Make necessary repairs to ensure that the interior finishes are protected from water damage.
- Hire a structural engineer to assess the condition of the building to ensure that there are no serious issues that will cause structural failure if not repaired and make any necessary repairs.



Example of temporary mothball treatment. (STRATA)



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-010 for 408 E. Broadway

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-010 for 408 E Broadway	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-010 – An application by the City of Excelsior Springs for a Certificate of Appropriateness for demolition of the building at 408 E Broadway.

Historic District: Boarding House District

Background: This three-story apartment building has a stone foundation, brick cladding and a flat roof. This building was built in 1909 on land that was originally platted in 1887. The elevation has three symmetrical bays. On the first story, Bays 1 and 3 have paired historic diamond-pane wood doors. Bay 2 and a single glazed historic wood door with a sidelight. The removal of the porch and alterations to the siding and windows compromise the historic character of the building and would render it non-contributing to a potential historic district.

The applicant seeks approval for the demolition of the structure located at 408 E Broadway. It is important to note that this building does not contribute to the historical significance of the district. The ongoing redevelopment initiatives in the surrounding area are focused on preserving numerous historic buildings; however, the proposed plan requires the removal of this particular structure. A comprehensive structural engineering report has been submitted to city staff, concluding that the building is structurally compromised and warrants demolition.

Staff Review: The building is facing a series of structural issues that significantly compromise its safety and habitability. The foundations require repairs due to damage from settlement, evidenced by cracks and loose stones on the porch located at the southern end of the home. Furthermore, the condition of the foundations near the fire escape at the building's north end has deteriorated beyond the point where repairs are possible. This is also affected the fire escape stairs and framing, rendering them structurally unsound and beyond repair. The exterior walls are compromised with numerous gaps and openings, leading to moisture penetration that is causing wood rot and distorting the framing materials. Compounding these issues, the gutters, soffits, and roof are in a deteriorated state, allowing moisture ingress that further contributes to wood rot and framing distortion. Additionally, the wood-framed floors exhibit significant sloping, indicating foundation settlement, wood rot, and possibly failed framing connections. The stair railings are also broken and in need of replacement. Given these extensive problems, it is clear that the building is structurally unsafe and uninhabitable in its current state, necessitating demolition.

Staff Recommendation/Action Requested:

Staff recommends approval of the application.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Attachments:

Exhibit A-COA Application

Exhibit B- 408 E Broadway Structural Engineer Letter

Exhibit C- Excelsior Springs Historical Survey

Exhibit D- Excelsior Springs Historic Design Guidelines for Demolition



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY

Fee: \$25.00

Date Received: 3-1-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-010
Administrative ☐ HPC ☒
(for office use only)

Date: 3-1-2024 Property Address: 408 E Broadway
Applicant: City of Ex. Springs Telephone No.: 816-630-0756
Applicant's Mailing Address: 201 E. Broadway
Email: permits@excelsiorsprings.gov
Owner (if different from Applicant):

Historic District: ☐ Hall of Waters ☐ Elms ☒ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☐ Contributing ☒ Non-contributing ☐ Commercial ☒ Residential

Type of work proposed (Check applicable categories)

☐ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☐ SIGNAGE ☒ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

Melinda J. Mahaffey
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official



PRINCIPALS

President

Christopher A. Beverlin, P.E.

Clark A. Basinger, P.E.
Michael J. Falbe, P.E.
Richard C. Crabtree, P.E.
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Christopher W. Boos, P.E.
Brandon M. Ford, P.E.
Steven J. Brooks, P.E.
Ryan M. Hagedorn, P.E.

Administrative Manager

James M. Spena

March 7, 2024

Melinda Mehaffy
Economic Development Director
201 E. Broadway
Excelsior Springs, Missouri 64024

Re: 408 Broadway
Excelsior Springs, Missouri

Dear Ms. Mehaffy,

As requested, we visited the site to review the condition of the existing structure.

During our visit to 408 Broadway Avenue Excelsior Springs, MO we discovered many conditions of structural concern. These conditions include the following:


1. The foundations need repair due to damage from settlement. There are cracks and loose stone in the porch at the front (south) end of the home.
2. The foundations at the fire escape at the north end of the building are beyond a state in which repair is feasible. The fire escape stairs and framing are not structurally sound and are also beyond a state in which repair is feasible.
3. The exterior walls have many gaps and openings which has allowed (and is continuing to allow) moisture into the building causing wood rot and framing material distortion.
4. The gutters, soffits and roof are deteriorated and has allowed (and is continuing to allow) moisture into the building causing wood rot and framing material distortion.
5. The wood-framed floors are significantly sloped. This is an indication of foundation settlement, wood rot, and potentially failed framing connections.
6. The stair railings were broken and needs replacement.

We find these conditions render the building structural unsafe and uninhabitable without repair and recommended partial demolition.

Attached to this report are photos we took while on site.

Sincerely,

BOB D. CAMPBELL & CO., INC.
Structural Engineers


Clark A. Basinger, P.E., LEED AP



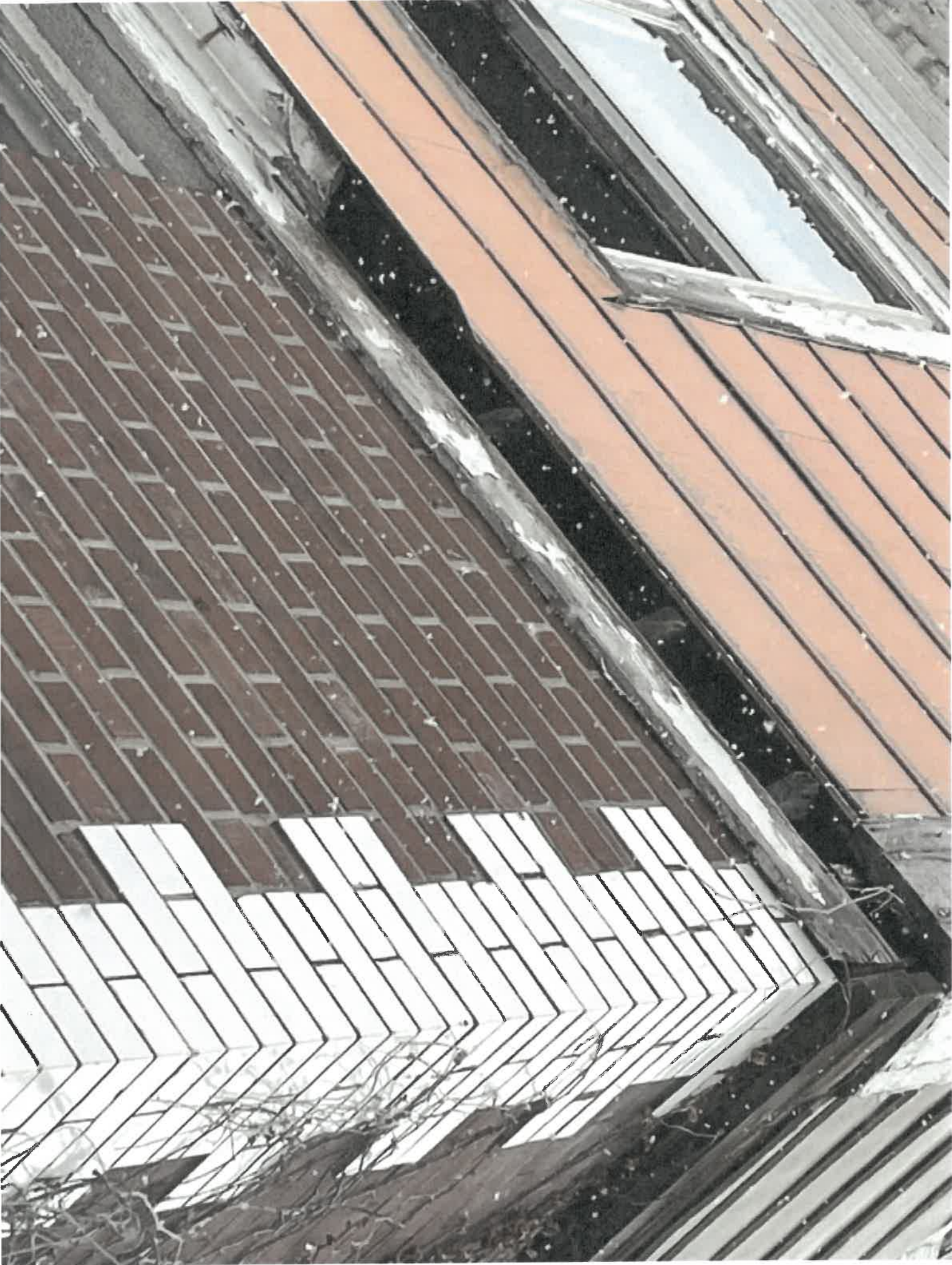
CB

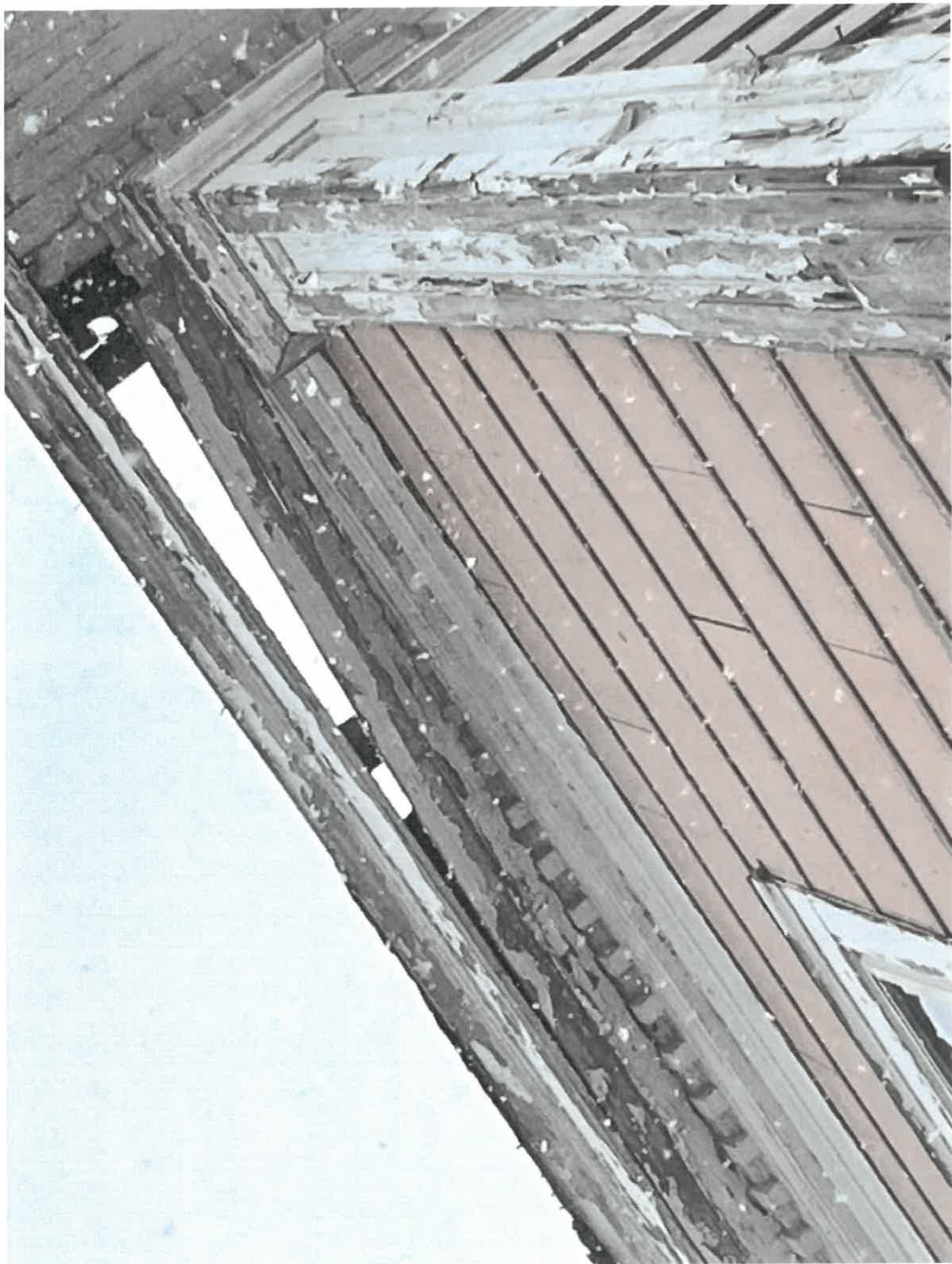
Enclosure

cc: File /EXCEL2402



























































Survey number: CL-AS-015-044		2. SURVEY NAME: Boardinghouse Historic Resource Inventory	
3. COUNTY: CLAY		4. ADDRESS (STREET NO. 408	STREET (NAME) East Broadway Street
5. CITY: Excelsior Springs	Vicinity <input type="checkbox"/>	6. UTM /	OR LAT: 39.342497 LONG: -94.219105
8. HISTORIC NAME (IF KNOWN): Shelton Apartments		7. TOWNSHIP/RANGE/SECTION T: 52 R: 30 S: 1	
9. PRESENT/OTHER NAME (IF KNOWN):		11B CURRENT USE: VACANT	
10. OWNERSHIP <input type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A HISTORIC USE (IF KNOWN): Multiple Dwelling	

HISTORICAL INFORMATION

12. CONSTRUCTION DATE: c. 1909	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input checked="" type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 2)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 2)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE? <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input checked="" type="checkbox"/> DISTRICT POTENTIAL <input type="checkbox"/> C <input checked="" type="checkbox"/> NC <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED

21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. ☒

22. SOURCES OF INFORMATION ON CONTINUATION PAGE. ☒

ARCHITECTURAL INFORMATION

23. CATEGORY OF PROPERTY: <input checked="" type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL:	37. WINDOWS: <input checked="" type="checkbox"/> HISTORIC <input checked="" type="checkbox"/> REPLACEMENT PANE ARRANGEMENT: Diamond Pane Wood, 1/1 Vinyl
24. VERNACULAR OR PROPERTY TYPE: 3-Story, Brick Building with Flat Roof	31. CHIMNEY PLACEMENT: N/A	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input checked="" type="checkbox"/>
25. STYLE:	32. STRUCTURAL SYSTEM: Frame	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input checked="" type="checkbox"/> ALTERED DATE(S): c.2000 <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S):
26. PLAN SHAPE: Rectangular	33. EXTERIOR WALL CLADDING: Brick	ENDANGERED BY:
27. NO. OF STORIES: 3	34. FOUNDATION MATERIAL: Stone	40. NO OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
28. NO. OF BAYS (1ST STORY): 3	35. BASEMENT TYPE: Full	41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION <input checked="" type="checkbox"/>
29. ROOF TYPE: Flat	36. FRONT PORCH TYPE/PLACEMENT: N/A	

OTHER

42. CURRENT OWNER/ADDRESS:	43. FORM PREPARED BY (NAME AND ORG.): Rosin Preservation, LLC Lauren Rieke 215 W. 18th Street #150 Kansas City, MO 64108 816-472-4950 Lauren@rosinpreservation.com	44. SURVEY DATE: 8/21/2014
		45. DATE OF REVISIONS:

FOR SHPO USE

DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input checked="" type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input checked="" type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		OTHER:

PHOTOGRAPHS

PHOTOGRAPHER Brad Finch, F-Stop Photography

DATE 8/21/2014

DESCRIPTION: South and west elevations, view northeast.

**ADDITIONAL INFORMATION**

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The three-story apartment building has a stone foundation, brick cladding and a flat roof. Fiberboard clads the third story and a projecting angled bay window on the west elevation. White glazed brick quoins articulate the corners on the first and second stories; square wood panel pilasters define the third story corners. A wood cornice with a wide paneled frieze spans the south elevation; a band of dentil molding ornaments the roofline across each elevation. A concrete deck with a vinyl picket rail spans the primary (south) elevation. This elevation has three symmetrical bays. On the first story, Bays 1 and 3 have paired historic diamond-pane wood doors. Bay 2 and a single glazed historic wood door with a sidelight. Bays 1 and 3 have single replacement one-over-one double-hung windows set in larger openings, with fiberboard infill on the second story; and single replacement one-over-one double-hung windows flanked on the outside by diamond-shaped windows on the third story. Bay 2 has paired historic diamond pane-over-one double-hung wood windows on the second and third stories. Alterations since the 1994 survey include the removal of the two-story Classical Revival porch. It had two-story four Doric columns with a prominent frieze and wood picket rails across the first and second stories.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The building is set back from the street and nearly fills the lot. Railroad tie retaining walls span the south elevation. A paved driveway spans the east elevation. Concrete stairs access the porch.

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The building was built c.1909 on land platted in 1887. The date of 1909 is an estimation based on the Sanborn Fire Insurance Maps and a scrapbook of captioned photos called "Views of Excelsior Springs Missouri- The Park and Driveway System and Lands in the East, Southeast Section" stating that the Shelton opened in 1909. The 1905 Sanborn maps do not show this building, but the 1909 map does. According to the Sanborn Fire Insurance Maps, this building has not had any additions since 1909. The City Directories list The Shelton Apartments at the address in 1917 and again in 1922. However, the name appears to change by 1940. The 1940 phone book lists the building as Miller Manor, with Fred C. Pope and Carl T. Satterlee at the address. [Boardinghouse Historic District Survey, 1994]

ELIGIBILITY STATEMENT:

The removal of the porch and alterations to the siding and windows compromise the historic character of the building and would render it non-contributing to a potential historic district.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

PREVIOUS SURVEY NAME: Boardinghouse Historic District Survey, 1994; CL-AS-007-042

Sanborn Fire Insurance Maps, 1894-1940--Kansas City, MO Public Library, Missouri Valley Special Collections; Excelsior Springs City Directories and Phone Books--Excelsior Springs Museum: Plats and Additions files--City Planning Department, City of Excelsior Springs, MO; Miscellaneous files and reference materials--Excelsior Springs Museum.

LOCAL REGISTER DISTRICT NAME: Boardinghouse Historic District

LOCAL REGISTER DESIGNATION DATE: 2010

LOCAL REGISTER DISTRICT C OR NC:



Community Development
Historic Preservation Commission Meeting - 3/13/2024

To: Commission Members
From:
Date
RE: COA: HPC-24-011 for 418 E. Broadway

ATTACHMENTS:

Description	Type	Upload Date
COA: HPC-24-011 for 418 E. Broadway	Cover Memo	3/8/2024

**Community Development Department
Historic Preservation Commission**

Phone: 816-630-0756; Fax: 816-630-9572



March 13, 2024

To: Chairman and Commissioners
Historic Preservation Commission

Re: Staff Report for Case No. HPC-24-011 – An application by the City of Excelsior Springs for a Certificate of Appropriateness for demolition of the building at 418 E Broadway.

Historic District: Boarding House District

Background: The two-story Pyramidal Hip Form house has a stone foundation, asbestos siding and an asphalt shingle truncated hip roof. One-story gabled additions project from the north elevation. A brick chimney rises from the west slope of the roof. Paired scrolled brackets ornament the roofline. A front porch with limestone piers, tapered square wood columns and a wood picket rail spans the primary elevation. This historic house retains sufficient historic character to communicate association with potential areas of significance and is considered a contributing building.

The applicant seeks approval for the demolition of the structure located at 418 E Broadway. It is important to note that this building does contribute to the historical significance of the district. The ongoing redevelopment initiatives in the surrounding area are focused on preserving numerous historic buildings; however, the proposed plan requires the removal of this particular structure. A comprehensive structural engineering report has been submitted to city staff, concluding that the building is structurally compromised and warrants demolition.

Staff Review: During the inspection at 418 Broadway, the engineer identified multiple structural issues that have rendered the building unsafe and uninhabitable without substantial repairs. The foundation is visibly failing, with significant damage due to settlement apparent through large cracks and displaced bricks on the east, west, and south sides of the building. Addressing these issues would necessitate underpinning the walls with piles, partially removing and rebuilding wall sections, tuckpointing, and ensuring adequate drainage around the premises. The building's exterior walls present numerous gaps and openings; facilitating ongoing moisture intrusion that results in wood rot and distortion of the framing materials. Similarly, the compromised state of the gutters, soffits, and roof continues to allow moisture inside, exacerbating the wood rot and structural distortion. Observations also revealed that the wood-framed floors are substantially sloped, indicating underlying problems with foundation settlement, wood deterioration, and possibly compromised framing connections. Additionally, the stair railings are damaged and require replacement, and the basement framing lacks positive connections, with floor framing support inadequately provided through bearing alone, unable to withstand or transfer lateral loads. Based on these findings, the engineer recommends a comprehensive foundation reconstruction to address the myriad of structural concern. These conditions render the building structural unsafe and uninhabitable.

Staff Recommendation/Action Requested:

Staff recommends approval of the application.

Respectfully Submitted,

Shantele Frie
City of Excelsior Springs
City Planner

Attachments:

Exhibit A-COA Application
Exhibit B-418 E Broadway Structural Letter
Exhibit C- Excelsior Springs Historical Survey
Exhibit D- Excelsior Springs Historic Design Guidelines for Demolition



COMMUNITY DEVELOPMENT
PLANNING & ZONING
201 East Broadway
Excelsior Springs, MO 64024
Phone: (816) 630-0756

FOR OFFICE USE ONLY
Fee: \$25.00
Date Received: 3-1-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Case No. COA: HPC-24-011
Administrative ☐ HPC ☒
(for office use only)

Date: 3-1-2024 Property Address: 418 E Broadway
Applicant: City of Excelsior Springs Telephone No.: 816-630-0756
Applicant's Mailing Address: 201 E Broadway
Email: permits@excelsiorsprings.gov
Owner (if different from Applicant): _____

Historic District: ☐ Hall of Waters ☐ Elms ☒ Boarding House ☐ Local Landmark

- Are Federal or State permits, licensing or monies included in the project ☐ Yes ☒ No
- If Federal or State permits, licensing or monies are included in the project a review by the State Historic Preservation Office (SHPO) may be required in conjunction with city review. If applicable, attach a list of Federal or State permits, licensing or funds involved.

Check all that apply:

☒ Contributing ☐ Non-contributing ☐ Commercial ☒ Residential

Type of work proposed (Check applicable categories)

☐ EXTERIOR ALTERATION ☐ NEW CONSTRUCTION
☐ SIGNAGE ☒ DEMOLITION
☐ BUILDING RELOCATION ☐ REGRADING/FILL

Melinda Mahaffey
Applicant Signature

Reviewed, Planning & Zoning

Approved, HPC Chairman

Disapproved, HPC Chairman

Approved Building Official

Disapproved Building Official



PRINCIPALS

President

Christopher A. Beverlin, P.E.

Clark A. Basinger, P.E.

Michael J. Falbe, P.E.

Richard C. Crabtree, P.E.

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Administrative Manager

James M. Spena

March 7, 2024

Melinda Mehaffy
Economic Development Director
201 E. Broadway
Excelsior Springs, Missouri 64024

Re: 418 Broadway
Excelsior Springs, Missouri

Dear Ms. Mehaffy,

As requested, we visited the site to review the condition of the existing structure.

During our visit to 418 Broadway Avenue Excelsior Springs, MO we discovered many conditions of structural concern. These conditions include the following:

1. The foundations are in a progressing state of failure due to damage from settlement. Large cracks and displaced brick were observed on the east, west and south ends of the building. Repair of the foundations would require underpinning the walls with piles, partial removal and rebuilding of sections of walls, tuckpointing, and provide proper drainage around the structure.
2. The exterior walls have many gaps and openings which has allowed (and is continuing to allow) moisture into the building causing wood rot and framing material distortion.
3. The gutters, soffits and roof are deteriorated and has allowed (and is continuing to allow) moisture into the building causing wood rot and framing material distortion.
4. The wood-framed floors are significantly sloped. This is an indication of foundation settlement, wood rot, and potentially failed framing connections.
5. The stair railings were broken and needs replacement.
6. Framing in the basement did not have positive connections. Floor framing support at support members is provided through bearing only and is incapable of resisting nor transferring lateral loads.

We find these conditions render the building structural unsafe and uninhabitable without repair and recommended foundation reconstruction.

Attached to this report are photos we took while on site.

Sincerely,

BOB D. CAMPBELL & CO., INC.
Structural Engineers

Clark A. Basinger, P.E., LEED AP

CB

Enclosure

cc: File /EXCEL2402



































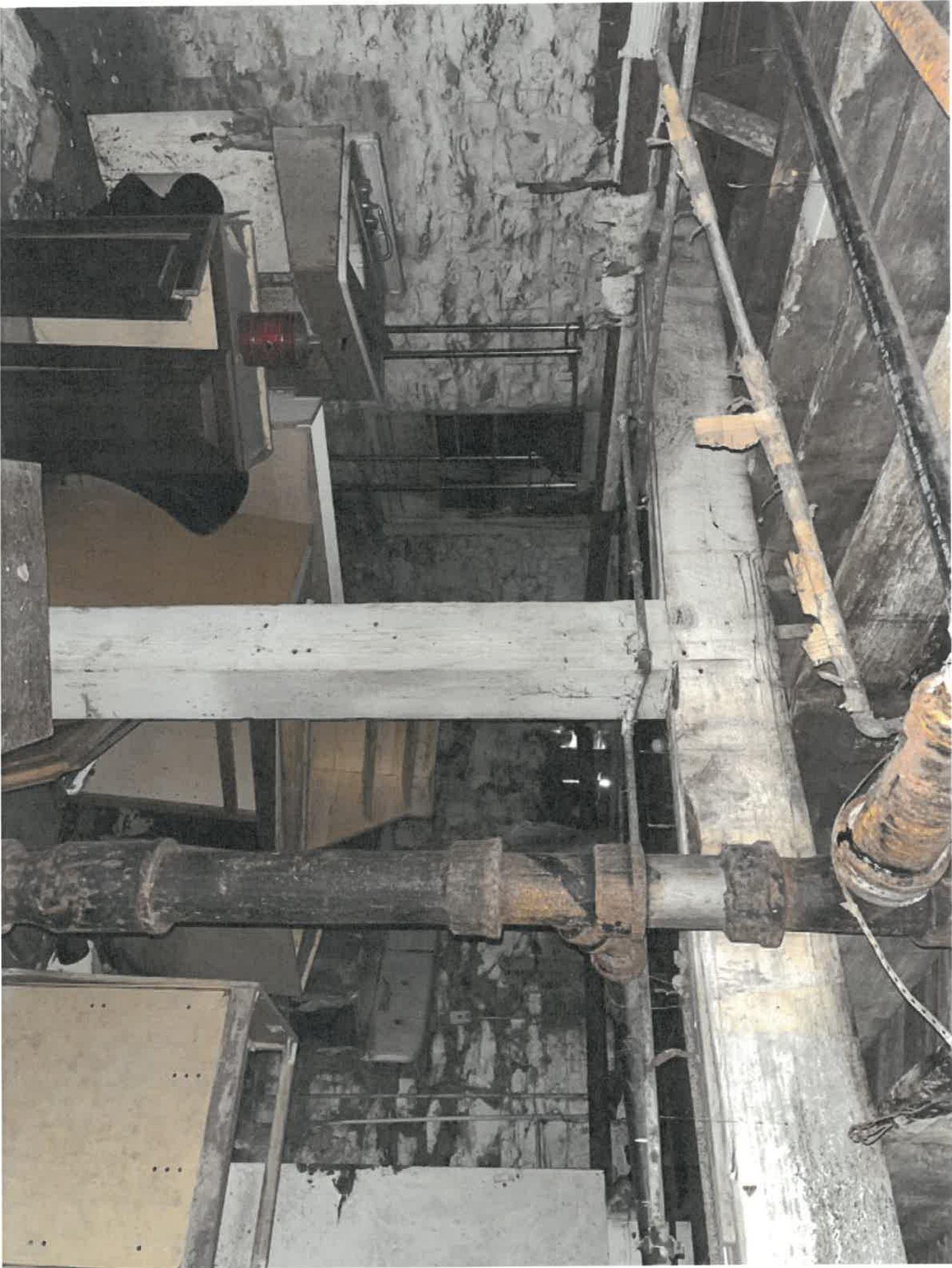














Survey number: CL-AS-015-050		2. SURVEY NAME: Boardinghouse Historic Resource Inventory	
3. COUNTY: CLAY		4. ADDRESS (STREET NO. 418 STREET (NAME) East Broadway Street	
5. CITY: Excelsior Springs	Vicinity <input type="checkbox"/>	6. UTM / OR LAT: 39.342458	7. TOWNSHIP/RANGE/SECTION T: 52 R: 30 S: 1
8. HISTORIC NAME (IF KNOWN): Haynes Boarding House		9. PRESENT/OTHER NAME (IF KNOWN):	
10. OWNERSHIP <input type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A HISTORIC USE (IF KNOWN): Hotel	
		11B CURRENT USE: Multiple Dwelling	

HISTORICAL INFORMATION

12. CONSTRUCTION DATE: c. 1896	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input checked="" type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 2)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 2)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE? <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input checked="" type="checkbox"/> DISTRICT POTENTIAL <input checked="" type="checkbox"/> C <input type="checkbox"/> NC <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input checked="" type="checkbox"/>		22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input checked="" type="checkbox"/>

ARCHITECTURAL INFORMATION

23. CATEGORY OF PROPERTY: <input checked="" type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL: Asphalt	37. WINDOWS: <input checked="" type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT: 1/1
24. VERNACULAR OR PROPERTY TYPE: Pyramidal Hip Form	31. CHIMNEY PLACEMENT: Left Slope, Center	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input checked="" type="checkbox"/>
25. STYLE:	32. STRUCTURAL SYSTEM: Frame	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input type="checkbox"/> ALTERED DATE(S): <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S): ENDANGERED BY:
26. PLAN SHAPE: Irregular	33. EXTERIOR WALL CLADDING: Asbestos Siding	
27. NO. OF STORIES: 2	34. FOUNDATION MATERIAL: Stone	
28. NO. OF BAYS (1ST STORY): 3	35. BASEMENT TYPE: Full	40. NO OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
29. ROOF TYPE: Truncated Hip	36. FRONT PORCH TYPE/PLACEMENT: Full-Width, Open Porch	41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION <input checked="" type="checkbox"/>

OTHER

42. CURRENT OWNER/ADDRESS:	43. FORM PREPARED BY (NAME AND ORG.): Rosin Preservation, LLC Lauren Rieke 215 W. 18th Street #150 Kansas City, MO 64108 816-472-4950 Lauren@rosinpreservation.com	44. SURVEY DATE: 8/21/2014
		45. DATE OF REVISIONS:

FOR SHPO USE

DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input checked="" type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input checked="" type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		OTHER:

PHOTOGRAPHS

PHOTOGRAPHER Brad Finch, F-Stop Photography

DATE 8/21/2014

DESCRIPTION: South and east elevations, view north.

**ADDITIONAL INFORMATION**

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The two-story Pyramidal Hip Form house has a stone foundation, asbestos siding and an asphalt shingle truncated hip roof. One-story gabled additions project from the north elevation. A brick chimney rises from the west slope of the roof. Paired scrolled brackets ornament the roofline. A front porch with limestone piers, tapered square wood columns and a wood picket rail spans the primary (south) elevation. The porch angles out from the house, making the west end wider than the east. This elevation has three symmetrical bays. Bays 1 and 3 have single historic one-over-one double-hung wood windows on each story; Bay 2 has a single historic wood door with a transom on the first story and a single historic wood door on the second story.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house is set back from the street and angled on the lot. Mature trees dot the rear of the property. Wood stairs access the porch.

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

The house was built c.1896 on land platted in 1898. The date of 1896 is an estimation based partly on the style of the home, and on previous research done by local historian Sonya Morgan. According to the research and a photograph taken in 1899, this home was, for a short time, the dormitory for the Haynes Academy, a "Boarding School for Young Ladies." However, the school does not appear to have lasted long. The 1905 Sanborn Fire Insurance Map shows the main school building, located next door to the west of 418 Broadway, as "Private School - to be removed" and the building does not appear on the 1909 map. By 1926, the Sanborn map shows this home as apartments. See Boardinghouse Historic District Survey, 1994, for more information.

ELIGIBILITY STATEMENT:

The historic house retains sufficient historic character to communicate association with potential areas of significance and would be contributing to a potential historic district.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGE

PREVIOUS SURVEY NAME: Boardinghouse Historic District Survey, 1994; CL-AS-007-048
Sanborn Fire Insurance Maps, 1894-1940--Kansas City, MO Public Library, Missouri Valley Special Collections; Excelsior Springs City Directories and Phone Books--Excelsior Springs Museum; Plats and Additions files--City Planning Department, City of Excelsior Springs, MO; Miscellaneous files and reference materials--Excelsior Springs Museum.

LOCAL REGISTER DISTRICT NAME: Boardinghouse Historic District

LOCAL REGISTER DESIGNATION DATE: 2010

LOCAL REGISTER DISTRICT C OR NC: